

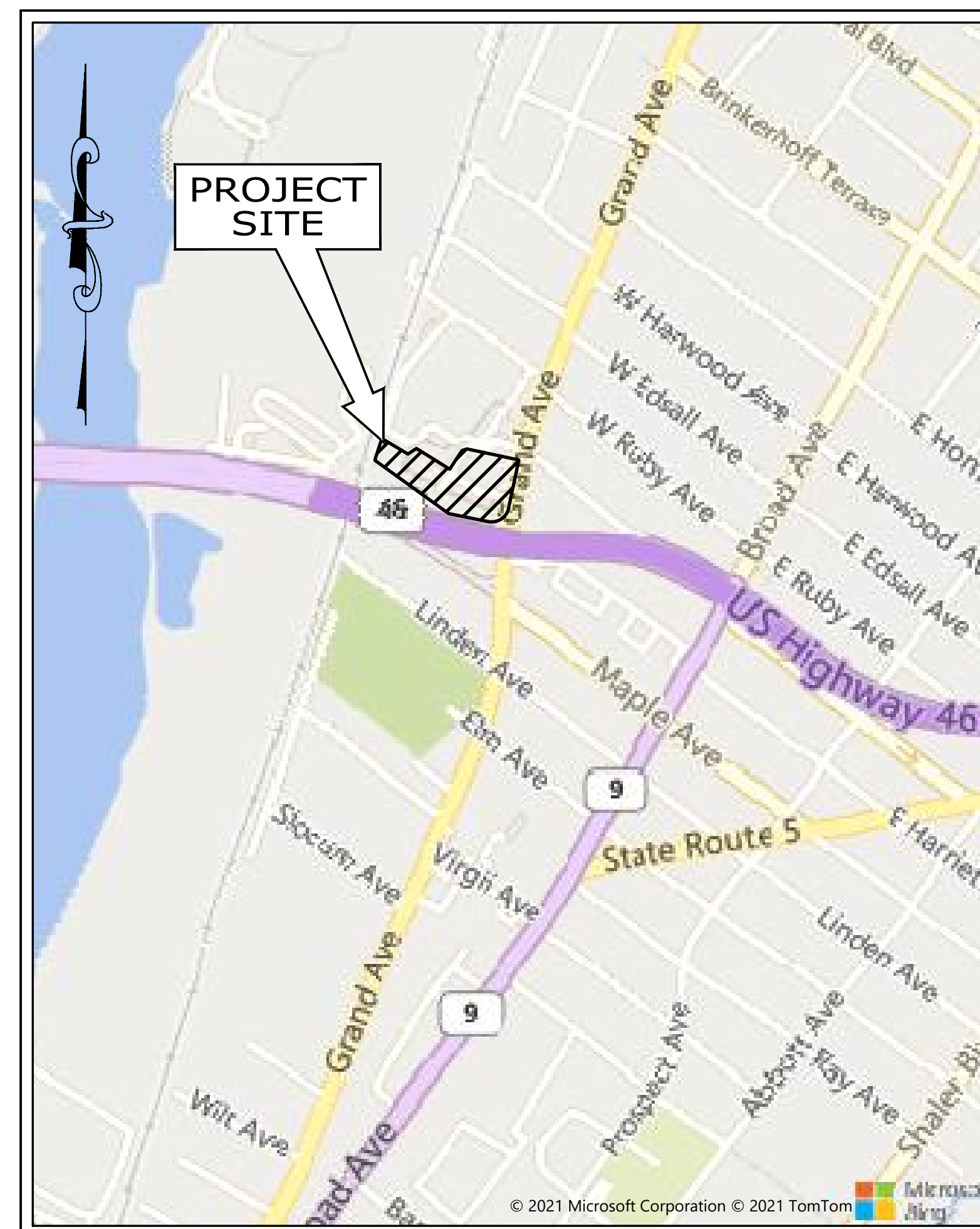
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR

15 GRAND AVENUE

BLOCK 505, LOTS 3 & 4

BOROUGH OF PALISADES PARK BERGEN COUNTY, NEW JERSEY

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LOCATION MAP
SCALE: 1"= 500'

OWNER:
TYCR LLC
115 Broad Avenue
Palisades Park, NJ 07650

APPLICANT:
Fan Associates, LLC
P.O. Box 39
Livingston, NJ 07039

A. To be signed before submission:
I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD (BOARD OF ADJUSTMENT) OF THE BOROUGH OF PALISADES PARK.
Applicant: Fan Associates, LLC Date: 11/23/2021

B. To be completed before submission:
SITE PLAN OF 15 GRAND AVENUE
LOT 3 & 4 BLOCK 505 ZONE M-1
DATE 11/19/2021 SCALE 1"=30'
APPLICANT Fan Associates, LLC ADDRESS P.O. Box 39, Livingston, NJ 07039

C. To be signed before submission:
I HEREBY CERTIFY THAT I HAVE PREPARED THE SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.
Name: Eric Keller
VICE PRESIDENT, 24GE03205400
Title and License No. _____

D. To be signed before issuance of a building permit:
APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF PALISADES PARK.
Date: _____ Chairman _____

E. To be signed before municipal agency approval is given:
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.
Date: _____ Borough Engineer _____

F. To be signed before issuance of a building permit:
I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH ARTICLE XV OF THE DEVELOPMENT ORDINANCE.
Building Inspector: _____
Borough Engineer: _____

G. To be signed prior to issuance of a certificate of occupancy:
I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
Date: _____ Borough Engineer _____ Date: _____ Building Inspector _____
OCCUPANCY PERMIT ISSUED: _____
Date: _____

NO.	REVISION	DATE	CHKD
6			
5			
4			
3			
2			
1			

PROJ: 08197-01-001
DATE: 11/23/2021
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BOWMAN CONSULTING GROUP, LTD. NO PART OF THIS DRAWING OR INFORMATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOWMAN CONSULTING GROUP, LTD. © 2021 ALL RIGHTS RESERVED.



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NJ Certificate of Authorization No. 24GE03225000
ERIC L. KELLER, N.J. Professional Engineer, Lic. 24GE03205400

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
15 GRAND AVENUE
COVER SHEET
BLOCK 505, LOTS 3 & 4
BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY

SHEET No.
1
OF
14

**THESE PLANS
ARE NOT TO BE
USED FOR BID OR
CONSTRUCTION**
**SEE SHEET 2 OF THIS
SET FOR GENERAL
NOTES AND REFERENCES**

P:\081197 - Final - Palisades Park\081197-01-001 (ENG)\Engineering\Engineering_Plans\2 - Site Plans\081197-SP-KEY.dwg, Omidan DOE(Full-Size).ctb, 11/24/21, 03:25:01PM, gpehard, LAYOUT-KEYMAP_24X36

GENERAL NOTES

- 1. Boundary and Topographic Information, shown herein taken from a map entitled "Boundary and Topographic Survey, Grand Avenue, Block 505, Lots 3 & 4, Borough of Palisades Park, Bergen County, NJ" prepared by Bowman dated 09/09/2021 Vertical Datum NAVD83
2. No wetlands exist on the site, as determined during a wetlands investigation performed by Ecologists Inc. on November 3, 2021. A description of the factors involved in this determination is documented in a letter-report dated November 8, 2021 signed by Ann Ertman, PWS of Ecologists Inc.
3. Limit of Floodplains and/or Floodways shown herein have been determined by Bowman Consulting Group pursuant to Method of the State's Flood Hazard Area Control Act Rules and is subject to verification by the New Jersey Department of Environmental Protection
4. All or a portion of this site lies in a flood hazard area. Certain activities in flood hazard areas are regulated by the New Jersey Department of Environmental Protection and some activities may be prohibited on this site or may first require a permit. Contact the Division of Land Use Regulation at 609-777-0454 for more information prior to any construction onsite.
5. Underground utilities shown herein are approximate and based solely upon above ground observations, mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information shown regarding underground utilities is not guaranteed by the engineer. Connections between structures, if and where shown, may not represent actual below ground conditions. Contractor and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own determination as to the location and depth of all underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or excavations with Owner should be made to accommodate such an event. In the event the contractor identifies a conflict with the proposed work and existing utilities, the conflict shall be brought to the attention of Bowman Consulting Group and the Owner prior to any work being performed.
a. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Bowman Consulting Group.
a. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in writing or email by the respective utility.
b. Electric, telephone, cable television and all other utility services shall be installed underground at locations determined by each respective utility entity, subject to any required municipal approval, regardless of whether or not the utilities are shown on the plans. The Contractor shall coordinate the construction of all utility mains and services with each utility entity and provide whatever construction support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.
c. Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.
6. Contractors and subcontractors are responsible for making their own determinations regarding subsurface conditions, including but not limited to soil characteristics, as well as depth to rock and groundwater. Bowman Consulting Group was not contracted to make any such determinations.
7. The proposed buildings shown herein are as taken from plans/CADD files prepared by Lessard Design entitled 15 Grand Avenue dated 11/15/2021.
8. The engineer signing this plan is not qualified to make a determination as to the presence or absence of contamination or other environmental conditions on the site. Therefore, no statement is being made or implied by the fact that no evidence of contamination or other environmental conditions is shown on this plan.
9. The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Contractor is also responsible for conforming with the Engineer that the permits and approvals provided by the Owner is complete.
Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the Contractor and Owner.
10. Prior to any construction or site preparation activity, the Contractor shall complete the following:
• Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for Construction." The use of any other plans is at the Contractor's risk.
• Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are consistent with all conditions and requirements set forth in the permits. Report any discrepancies/inconsistencies to the Owner and Bowman Consulting Group prior to any construction.
• Determine all applicable specifications, as well as all requirements for shop drawings, inspections and testing applicable to project by contacting the local building official, municipal engineer and each affected utility company (or agency). In the event of a conflict between any specifications and the information shown on these plans, Bowman Consulting Group and the Owner shall be notified in order to resolve the conflict prior to any construction.
• Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress during construction. Traffic control requirements shall be established between the Contractor and police department at this time.
11. These plans are intended specifically and solely for the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation of copyright law.
12. Contractor shall consider the information provided on the full set of plans for the construction of all project elements. Notes and information provided on one drawing may also be relevant to information or details provided on another drawing.
13. Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved equal" shall be submitted to the municipal engineer and Bowman Consulting Group at least two weeks in advance of ordering product. The product must be approved for incorporation into the project by both the municipal engineer and Bowman Consulting Group.
14. All confirmations/verifications between the Contractor, Owner and/or Engineer shall be via email or other written form(s) of communication.
15. Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site preparation or construction activities.
16. Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance.
17. The Contractor shall provide the Owner and Bowman Consulting Group with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall also identify the specific individual responsible for performing each test and/or providing each certification and/or as-built plan. In particular, should NJDEP permits apply to any utility construction, the Contractor should provide a certification of the work upon completion, the Contractor shall determine the individual responsible for providing the certification. The Contractor shall then be responsible for coordinating with each individual identified on the list and scheduling his work to assure each individual has sufficient opportunity to conduct the required tests, obtain required measurements and/or perform any services or work required to prepare the required post-construction approval documents.
18. Contractor to coordinate all work with all utility companies and/or public agencies providing utility service, as applicable, and abide by all of their requirements relevant to the performance and inspection of all work affecting their utilities, including complying with any and all testing requirements. In the event requirements or specifications of the utility company or public authority conflict with the plans, the municipal requirements shall govern. In such case, the Contractor shall advise the Owner and Engineer prior to proceeding with any work.
19. In addition to the information required by the municipality and utility entities, the stormwater management facilities designed to infiltrate runoff shall also be inspected by Bowman Consulting Group in accordance with the provisions specified on the details for such systems (Refer to Sheet(s) of the plans. The Contractor shall contact Bowman Consulting Group to coordinate the scheduling of such inspections at least two weeks prior to the commencement of construction for such facilities.
20. As this project disturbs more than one acre, all work is subject to an NJDEP 563 Construction Activity General Permit. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared by, or on behalf of, the Owner. Prior to any construction, the Contractor shall obtain and read the SWPPP. Prior to any site disturbance, the Owner and Contractor must execute the SWPPP Agreements which assign responsibility for compliance with the General Permit.
21. Contractor to coordinate with the Owner relevant to the scheduling of all work and any restrictions thereto, (such as maintaining operations at the site or ingress/egress restrictions, etc.). Any requirements for phasing and/or multiple mobilizations shall be identified and resolved prior to commencement of the work.
22. It is the Contractor's responsibility to protect all property markers and monuments from disturbance throughout construction. Notify the Owner immediately should any property markers or monuments be inadvertently disturbed or damaged.
23. Prior to any construction, the horizontal limits of the work (Limits of Disturbance - LOD) shall be established and delineated onsite. Disturbance beyond these permitted limits exposes the contractor to fines and penalties by regulatory agencies.
24. The exact location of all work shall be established from the control points and all stakeout shall be referenced from baselines established from the control points. All dimensions and distances, both horizontal and vertical, shall be verified for consistency with the plans by the entity responsible for layout prior to the construction of each project element. In the event of any discrepancies between the layout and dimensions/distances shown on the plans, the layout entity shall notify Bowman Consulting Group for resolution of the discrepancy prior to any construction for the specific element.
25. Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to be used as basis for survey layout. Standard practice requires the layout entity check dimensional data for consistency and to make survey calculations as customary for layout.
26. The location and inverts of all existing storm and sanitary sewers shown herein shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Bowman Consulting Group immediately and no construction shall commence until any such discrepancies are resolved. Storm and sanitary sewer layout and construction shall proceed from downstream to upstream throughout the entire project.
27. The intent of the plans is to provide a smooth transition, maintaining effective drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as curb, pavement, and sidewalk. The entity responsible for stakeout shall-prior to any construction-verify the intended smooth connections will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria:
• No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
• All final grades will have a minimum slope of 0.5%.

- Abrupt changes in grade are avoided, except as dictated by curb ramp details. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement.
In the event the entity responsible for layout should determine a smooth transition cannot be achieved at one or more locations, Bowman Consulting Group shall be notified for resolution prior to any construction.
28. Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any confirmed discrepancy identified by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no claim for extra work based upon suspected or confirmed topographic discrepancies.
29. The Contractor is solely responsible for construction site safety and for determining the means and methods for all construction activities. All safety precautions must be undertaken and maintained as required by local, State and Federal codes.
30. Contractor to comply with the traffic control plan, if provided. If a traffic control plan is not provided, the Contractor shall determine and comply with any and all traffic control requirements of the local police department and any public agency having jurisdiction relevant to any construction in or near public streets as well as for ingress and egress during construction.
31. The Contractor shall provide necessary barricades, sufficient lights, signs, and other traffic control measures that be necessary within the project for the protection and safety of the public. All such traffic control devices shall be maintained in satisfactory condition throughout the construction period.
32. The plan has been designed with the intent to comply with all applicable requirements for barrier free access, including the satisfying of all requirements of the New Jersey International Building Code, Chapter 11, as well as the Americans with Disabilities Act (ADA). In general, barrier free access to site construction is to be provided (between all parking spaces designated as ADA and the front door of adjacent buildings). However, prior to construction, the Contractor shall verify the routes required to be barrier free with the local building code official. Should any identified routes conflict with the grading shown on the plans, the Contractor shall notify Bowman Consulting Group for resolution prior to any construction.
33. The Contractor is responsible for the completed construction along barrier free routes complying with all applicable requirements of NJIBC Chap 11, whether specifically stated on the plans or not. In particular, the following requirements are noted:
a. Slopes within accessible parking spaces and adjacent access aisles shall not exceed two percent (2.0%) in any direction.
b. Slopes for curb ramps shall not exceed 1:12 (8.3%)
c. The exterior side of all doorways and both sides of accessible gates shall have a landing sloped for positive drainage at two percent (2.0%) max. For doors & gates with a straight approach sidewalk, the landing shall be a minimum of 5' long before breaking grade to a sloped sidewalk. The width shall be as shown on the plans. If there is a discrepancy between architectural plans and site plans, the contractor shall notify Bowman Consulting Group for resolution of the discrepancy prior to any construction for the landing or associated walkway. Note that the width is not necessarily centered on the door or gate, as minimum clearances are required on the handle side (opposite the hinge side).
d. Each barrier free route shall provide for a minimum four foot unobstructed (car overhangs at curbs must be considered) width with a longitudinal (direction of route) slope no greater than 1:20 (5%). Cross slope shall not exceed two percent (2.0%). In turning areas, cross slope must be less than 2.0 % in all directions. Where shown on the plans and/or where the grading along the path of travel exceeds 5%, a ramp with a maximum slope of 1:12 (8.3%) shall be constructed, having a maximum rise of 30 inches. Hand rails complying with NJIBC Chap 11 requirements shall be installed for all such ramps, except curb ramps at pavement edges.
e. Refer to the detail sheets for landings at curb ramps. All other ramps shall be provided with landings at each end and each landing shall be at least five feet long with a width matching the width of the ramp. Landings shall slope no more than two percent (2.0%) in any direction.
The Contractor is responsible for assuring all construction along barrier free routes complies with all requirements.
35. Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to verify compliance with the applicable barrier free requirements and request confirmation of same by the inspecting authority.
36. Unless indicated otherwise in the plan, all sidewalk shall be a minimum of four feet wide, except adjacent to the end of parking stalls where sidewalk shall be a minimum of six feet in width.
37. The details shown on these plans for retaining walls and (insert other project specific structures, if any) have been prepared for the purpose of Preliminary/Final Municipal engineer review and approval. Structural designs for all walls must be prepared by the Contractor (or Owner) and prepared by an engineer licensed in New Jersey. The wall design must abide by any specifications relevant to type of wall, color and/or texture (list other approved alternatives, if any). A building permit is required for any wall exceeding four feet in height.
38. A building permit is required for all walls four or more feet in height. The contractor is responsible for securing said permit(s).
39. Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion of construction. Footing elevations to be taken from the structural plans procured by the Contractor.
40. It is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.
41. Post-construction certification as to the construction of a retaining wall or other structural components to be provided by a professional engineer engaged by the Contractor.
42. Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Bowman Consulting Group for approval. Contractor to determine the number of copies required by the inspecting authority. All shop drawings are to be prepared by a New Jersey professional engineer.
43. All construction shall conform to the requirements of any applicable Federal, State or Local law, regulation and/or ordinance.
44. Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.
45. Contractor shall complete all work in a workmanlike manner to the full satisfaction of the Owner.
46. Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris shall be in accordance with applicable local, county, state and federal regulations.
47. Any damage to existing infrastructure, including but not limited to, pavement, sidewalks, curb, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at his sole expense) to the satisfaction of the owner of the damaged item.
48. All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in writing.
49. Any omissions in the standard details or lack of information must be brought to the attention of Bowman Consulting Group prior to construction.
50. Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the edge of butt joints).
51. The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to match proposed grades. All sliding adjustments shall be performed in accordance with all applicable specifications and regulations.
52. All on-site water main shall have a minimum cover of 4 feet.
53. Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or 18-inches vertically, if horizontal separation is not possible.
54. All storm and sanitary sewer pipe lengths shown herein are from center of structure to center of structure, unless otherwise indicated.
55. All materials and construction shall conform to the requirements specified in the Residential Site Improvement Standards (NJAC 5:21), latest edition.
56. All RCP to be reinforced concrete pipe conforming to ASTM C-76, Class III, Wall B, unless otherwise indicated.
57. All PVC sanitary sewer pipe shall be SDR-35.
58. All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan or required by the water purveyor.
59. All roof leader drains to be 6-inch Schedule 40 PVC, unless otherwise noted on the plans. All leader drains to be installed with two foot minimum cover.
60. All roof drains shall be connected to the storm sewer system unless otherwise shown on the plans.
61. All pipe shall be installed in accordance to applicable manufacturers' specifications.
62. Fire lanes shall be provided in accordance with fire official's requirements.

BULK STANDARDS (1)
M-1 DISTRICT
REQUIRED PROVIDED
MIN LOT SIZE (MIN) N/A 125,715 SF (E) 40,000 SF 125,715 SF (E)
LOT WIDTH (MIN) N/A 271.4 FT (E) 200 FT 271.4 FT (E)
LOT DEPTH (MIN) N/A 585.8 FT (E) 200 FT 585.8 FT (E)
FRONT YARD 15 FT 9.4 FT (E) (2) 20 FT 65.4 FT
SIDE YARD (ONE) 10 FT 54.6 FT (E) 15 FT 15.1 FT
SIDE YARD (BOTH) 20 FT 254 FT± (E) 30 FT 31.0 FT
REAR YARD 15 FT 31.7 FT 30 FT 30.3 FT
BUILDING HEIGHT 3 STORIES/35 FT 7 STORIES/84 FT (E) (2) 5/50 FT 54.5 FT (3)
MAX COV. (IMP) 50% 82% (E) (2) 80% 82% (E) (2)
BUILDING COV. N/A 50.0%± 60% 50.0%±
OPEN SPACE N/A 18% (E) 20% 18% (E) (3)
UNIT DIST
MAX ONE BEDROOMS N/A 46 75% 46
MIN 2 BEDROOMS N/A 54 20% 54
MAX 3 BEDROOMS N/A 4 10% 0

- 1) INCLUDES ENTIRE SITE (BLOCK 505, LOTS 3 & 4)
2) EXISTING NON-COMFORMANCE
3) VARIANCE REQUIRED
(E) EXISTING CONDITION TO REMAIN

- POTENTIAL VARIANCES:
D(1) VARIANCE - APPLICANT SEEKS A VARIANCE FOR TWO PRINCIPAL USES ON ONE LOT, IF REQUIRED.
D(2) VARIANCE - APPLICANT SEEKS TO EXPAND EXISTING NON-COMFORMING USE IF REQUIRED.
D(3) VARIANCE - APPLICANT SEEKS A VARIANCE IF REQUIRED FOR THE HEIGHT OF THE EXISTING BUILDING.
C(2) VARIANCE - APPLICANT PROPOSES 55 FOOT HIGH RESIDENTIAL BUILDING WHERE 50 FOOT IS PERMITTED.
C(1) AND 2) VARIANCE - APPLICANT PROPOSES LOT COVERAGE IN EXCESS OF 50% MAXIMUM FOR THE M-1 ZONE AND IN EXCESS OF 80% FOR THE M-1 RESIDENTIAL ZONE OVERLAY.
C(2) VARIANCE - APPLICANT PROPOSES 2 FREESTANDING SIGNS WHEREIN 1 IS PERMITTED.
C(2) VARIANCE - APPLICANT PROPOSES 18% OPEN SPACE (SERIOUS) WHERE 20% IS REQUIRED.
AREA IN REAR YARD WHERE 50% IS REQUIRED.
9) APPLICANT PROPOSES A 45 SF SIGN WHERE 24 SF MAXIMUM IS PERMITTED.
10) APPLICANT PROPOSES A RESIDENTIAL SIGN WHERE NONE IS PERMITTED.

BUILDING HEIGHT CALCULATION:
EXISTING NON-RESIDENTIAL BUILDING:
AVERAGE GRADE AROUND BUILDING: (24+29+11+10+5+2+6+1+8+7+8+10+9+5+9+5+19+5+19)÷14 = 19.5'
ELEVATION OF LEVEL 1 OF BUILDING: 26.88'
HEIGHT FROM LEVEL 1 OF BUILDING TO HIGHEST ROOF: 103.5'
BUILDING HEIGHT: 103.5 - 19.5 = 84'
PROPOSED RESIDENTIAL BUILDING:
AVERAGE GRADE AROUND BUILDING: (20+29+11+10+5+2+6+1+8+7+8+10+9+5+9+5+19+5+19)÷14 = 12.5'
BUILDING HEIGHT (SEE ARCHITECTURAL PLANS): 54.33'

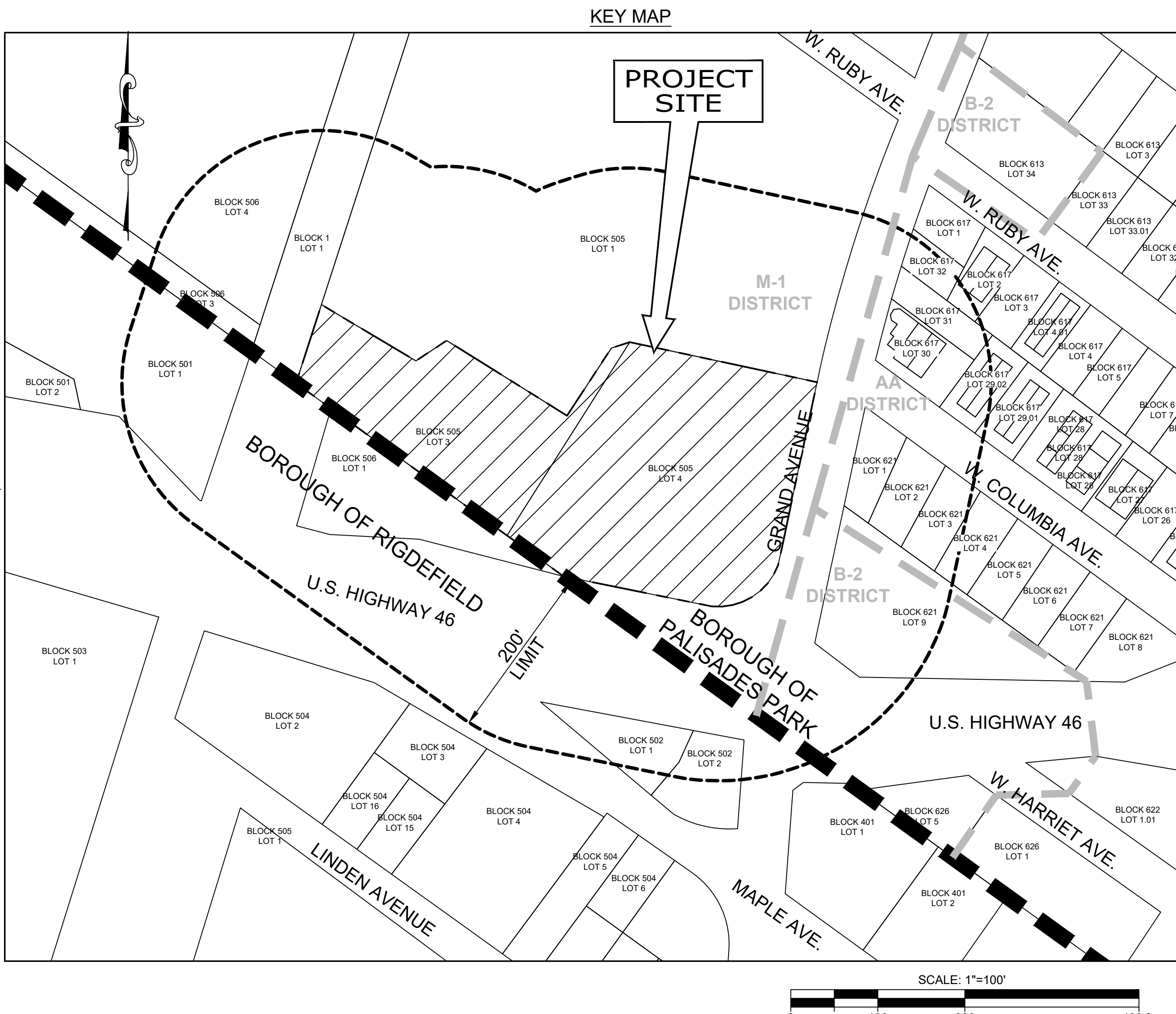
PARKING ANALYSIS
REQUIREMENT REQUIRED
APARTMENTS, 1-BR: 41 UNITS @ 1.8 SPACES / UNIT 73.8
APARTMENTS, 2-BR: 81 UNITS @ 2.0 SPACES / UNIT 162
RETAIL (LIQUOR STORE): 5149 SF @ 1 SPACE/200 SF 25.8
GYM: 194 OCCUPANTS @ 1 SPACE/3.5 OCCUPANTS 55.4
OFFICE: 2000 SF @ 1 SPACE/200 SF 10
ADJUSTMENT PER EVSE ORDINANCE: -31
TOTAL REQUIRED: 296

PROVIDED PARKING:
PARKING SPACE TYPE PROVIDED
NON-EVSE GARAGE SPACES: 214
EVSE GARAGE SPACES: 16
EVSE MAKE-READY GARAGE SPACES: 32
PROPOSED EXTERIOR SURFACE SPACES: 32
EXISTING EXTERIOR SPACES TO REMAIN: 12
TOTAL SPACES PROVIDED: 306

UTILITY COMPANIES TO BE NOTIFIED

- PSE&G
80 PARKS PLACE - NO. 176
NEWARK, NEW JERSEY 07101
NEW JERSEY BELL - ROOM 2001
540 BROAD STREET
NEWARK, NEW JERSEY 07101
SUEZ OF NEW JERSEY
69 DEVOB PLACE
HACKENSACK, NJ 07601
CHIEF ENGINEER
BERGEN COUNTY UTILITIES AUTHORITY
P.O. BOX 122
LITTLE FERRY, NEW JERSEY 07643
GENERAL MANAGER
TIME WARNER
200 ROOSEVELT PLACE
PALISADES PARK, NEW JERSEY 07650
STATE OF NEW JERSEY/DOT
P.O. BOX 600
TRENTON, NEW JERSEY 08625
BOROUGH OF RIDGEFIELD
604 BROAD AVENUE
RIDGEFIELD, NJ 07657

REQUIRED PARKING BY PARKING SPACE TYPE:
USE/ORDINANCE REQUIREMENT REQUIRED PROVIDED
EVSE SPACES @ 5% OF REQUIRED SPACES 16 16
MAKE-READY SPACES @ 10% OF REQUIRED SPACES 31.7 32
TOTAL OF EVSE & MAKE-READY SPACES @ 15% OF REQUIRED SPACES 47.5 48
ADA EVSE/MAKE READY SPACES @ 5% OF EVSE/MAKE-READY SPACES 2.4 3
VAN ACCESSIBLE ADA SPACES 1 7
TOTAL ADA SPACES 8 9



PROPERTY OWNERS WITHIN 200 FEET

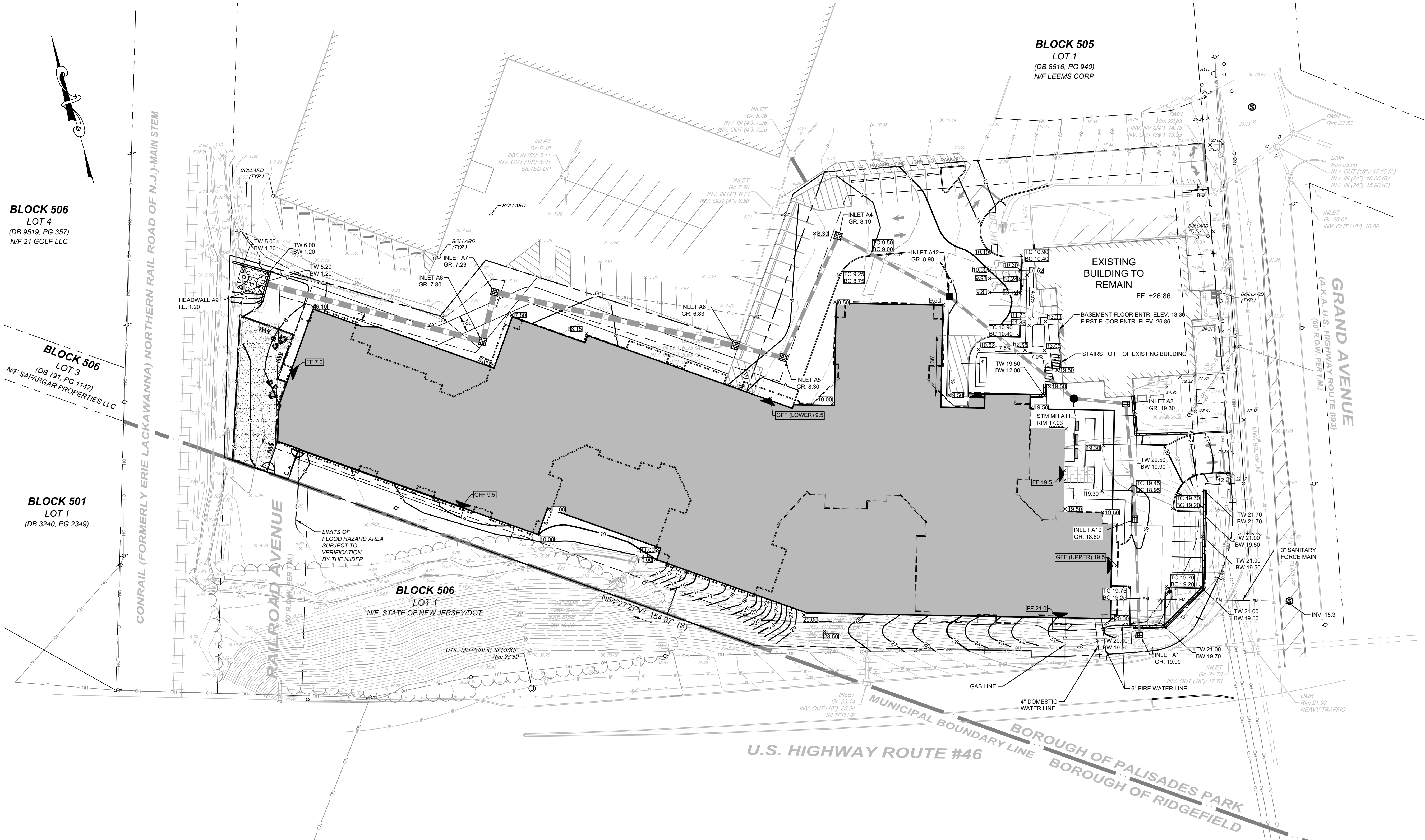
Table listing property owners within 200 feet of the project site. Columns include Block, Lot, Owner's Name, Property Address, and Mailing Address. Owners listed include Fairview LLC, Mockler, Robert Jr. et al., Park, Paul, Jongkuk & Deuknan, Suez of New Jersey, Hackensack, NJ 07601, Chief Engineer, Bergen County Utilities Authority, Time Warner, State of New Jersey/DOT, and Ridgefield, NJ 07657.

RIDGEFIELD
BLOCK LOT QUAL CLA PROPERTY OWNER PROPERTY LOCATION
500 3 4A 500 WATER ST J-910 JACOBSONVILLE, FL 32202 END LINDEN AVE
501 1 4A RAYSONVILLE, FL 80 ROUTE 46 WEST RIDGEFIELD, NJ 07657
502 1 4A S & B OIL, INC. 1098 ROUTE 46 EAST PALISADES PARK, NJ 07650
502 2 4A 809 GRAND AVE LLC 800 GRAND AVE RIDGEFIELD, NJ 07657

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION. SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES.

Project information block including: PROJECT: 081197-01-001, DATE: 11/15/2021, CHD: [blank], PRELIMINARY AND FINAL MAJOR SITE PLANS FOR 15 GRAND AVENUE, SHEET No. 2 OF 14, KEY MAP, BLOCK 505, LOTS 3 & 4, BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY. Includes Bowman Consulting Group Ltd logo and contact information for Eric J. Keller, N.J. Professional Engineer, Lic. 24CE03205400.

P:\081197 - For - Palisades Park\081197-01-001 (ENG)\Engineering\Engineering Plans\2-Site Plans\081197-SP-GRP.dwg Onland DCE(Full-Site) sct. 11/24/21 03:25:31PM gperhard, LAYOUT.SHT-2436
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 081197-SP-TMSTR.dwg
 081197-GRASE.dwg



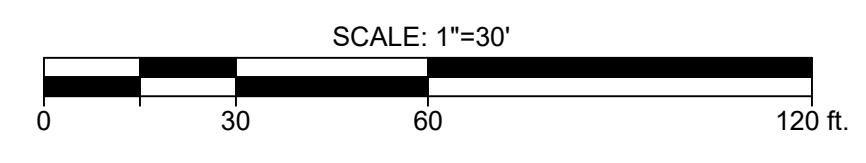
BLOCK 506
 LOT 4
 (DB 9519, PG 357)
 N/F 21 GOLF LLC

BLOCK 506
 LOT 3
 (DB 191, PG 1147)
 N/F SAFARGAR PROPERTIES LLC

BLOCK 501
 LOT 1
 (DB 3240, PG 2349)

PROPOSED LEGEND

	GRANITE BLOCK CURB		LIGHT SIGN
	FLUSH CURB		DETECTABLE WARNING SURFACE
	DEPRESSED CURB		CURB RAMP
	RETAINING WALL		CLEANOUT
	FENCE		
	DECORATIVE FENCE (SEE LANDSCAPE DETAILS)		
	HYDRANT		
	MANHOLE		
	INLET, TYPE B		
	INLET, TYPE E		
	HEADWALL		
	UTILITIES (TEL., ELEC., & CABLE)		
	GAS LINE		
	WATER LINE		
	SANITARY LATERAL		
	SANITARY SEWER		
	STORM SEWER		



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SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES

NO.	REVISION	DATE	CHKD.
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 DATE: 11/15/2021
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 54 Honesill Road, Suite 100
 New Jersey 07187
 bowman.com
 E-mail: NJ@Bowman.com

Phone: 875-358-9400
 NJ Certificate of Authorization No. 24A04222600

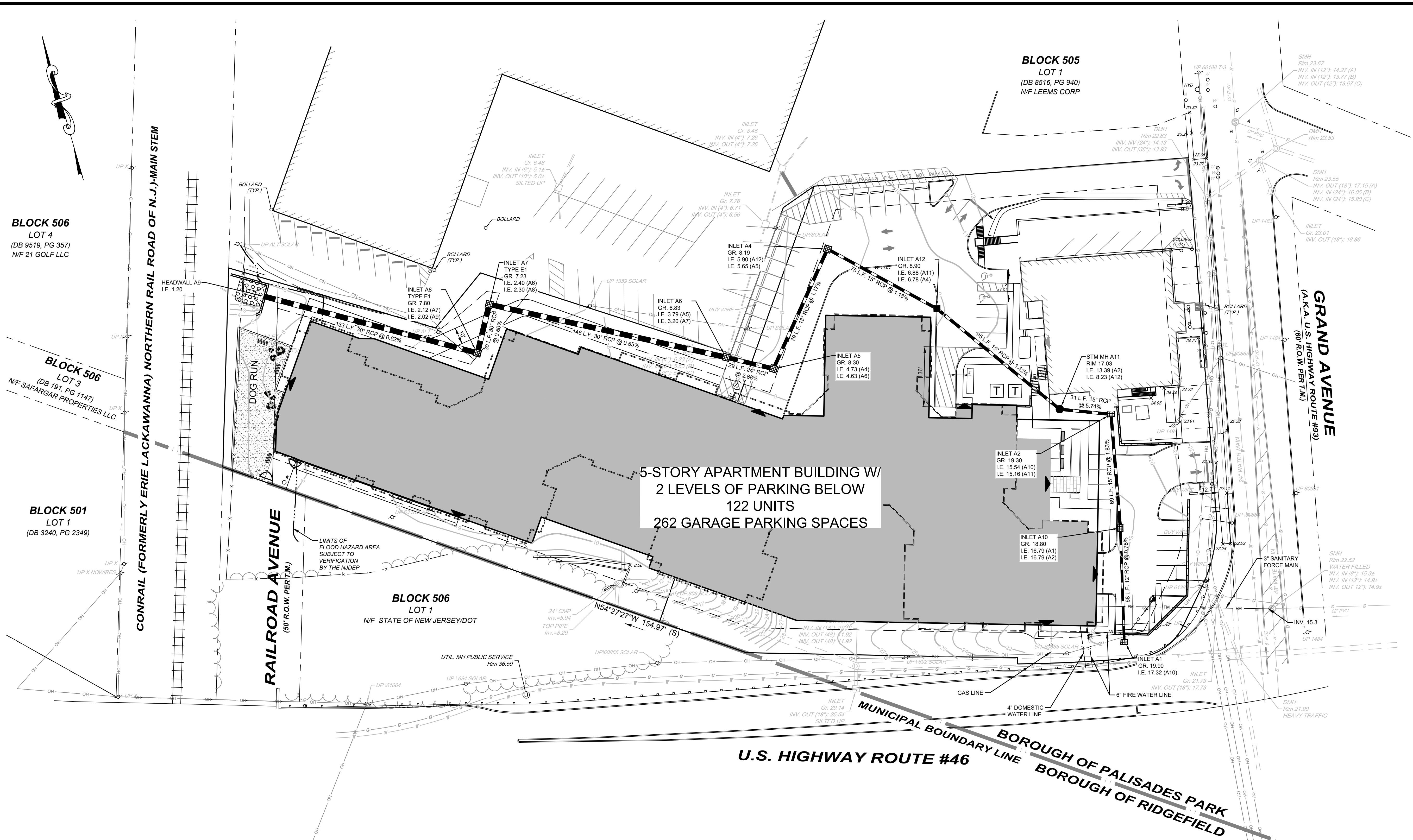
Eric L. Keller
 ERIC L. KELLER, N.J. Professional Engineer, Lic. 24GE03205400

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
 15 GRAND AVENUE
 GRADING PLAN
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY

SHEET No.
5
 OF **14**

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BLOCK 506
 LOT 4
 (DB 9519, PG 357)
 N/F 21 GOLF LLC

BLOCK 506
 LOT 3
 (DB 191, PG 1147)
 N/F SAFARGAR PROPERTIES LLC

BLOCK 501
 LOT 1
 (DB 3240, PG 2349)

CONRAIL (FORMERLY ERIE LACKAWANNA) NORTHERN RAIL ROAD OF N.J.-MAIN STEM

RAILROAD AVENUE
 (50' R.O.W. PER M.I.)

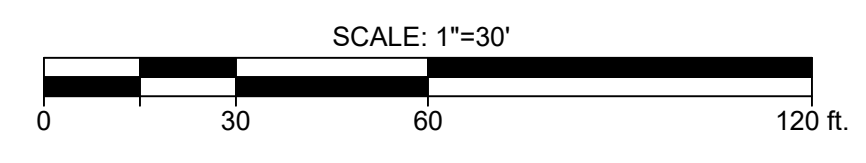
GRAND AVENUE
 (A.K.A. U.S. HIGHWAY ROUTE #93)
 (60' R.O.W. PER M.I.)

U.S. HIGHWAY ROUTE #46

BOROUGH OF PALISADES PARK
BOROUGH OF RIDGEFIELD

**5-STORY APARTMENT BUILDING W/
 2 LEVELS OF PARKING BELOW
 122 UNITS
 262 GARAGE PARKING SPACES**

PROPOSED LEGEND	
	GRANITE BLOCK CURB
	FLUSH CURB
	DEPRESSED CURB
	RETAINING WALL
	FENCE
	DECORATIVE FENCE (SEE LANDSCAPE DETAILS)
	HYDRANT
	MANHOLE
	INLET, TYPE B
	INLET, TYPE E
	HEADWALL
	LIGHT
	SIGN
	DETECTABLE WARNING SURFACE
	CURB RAMP
	CLEANOUT
	UTILITIES (TEL., ELEC., & CABLE)
	GAS LINE
	WATER LINE
	SANITARY LATERAL
	SANITARY SEWER
	STORM SEWER



**THESE PLANS
 ARE NOT TO BE
 USED FOR BID OR
 CONSTRUCTION**

**SEE SHEET 2 OF THIS
 SET FOR GENERAL
 NOTES AND REFERENCES**

NO.	REVISION	DATE	CHKD.
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3			
2			
1			

Bowman

PROJ: 081197-01-001
 DATE: 11/15/2021
 CHD:

Bowman Consulting Group Ltd
 54 Honesill Road, Suite 100
 New Jersey 07827
 bowman.com
 E-mail: NJ@Bowman.com

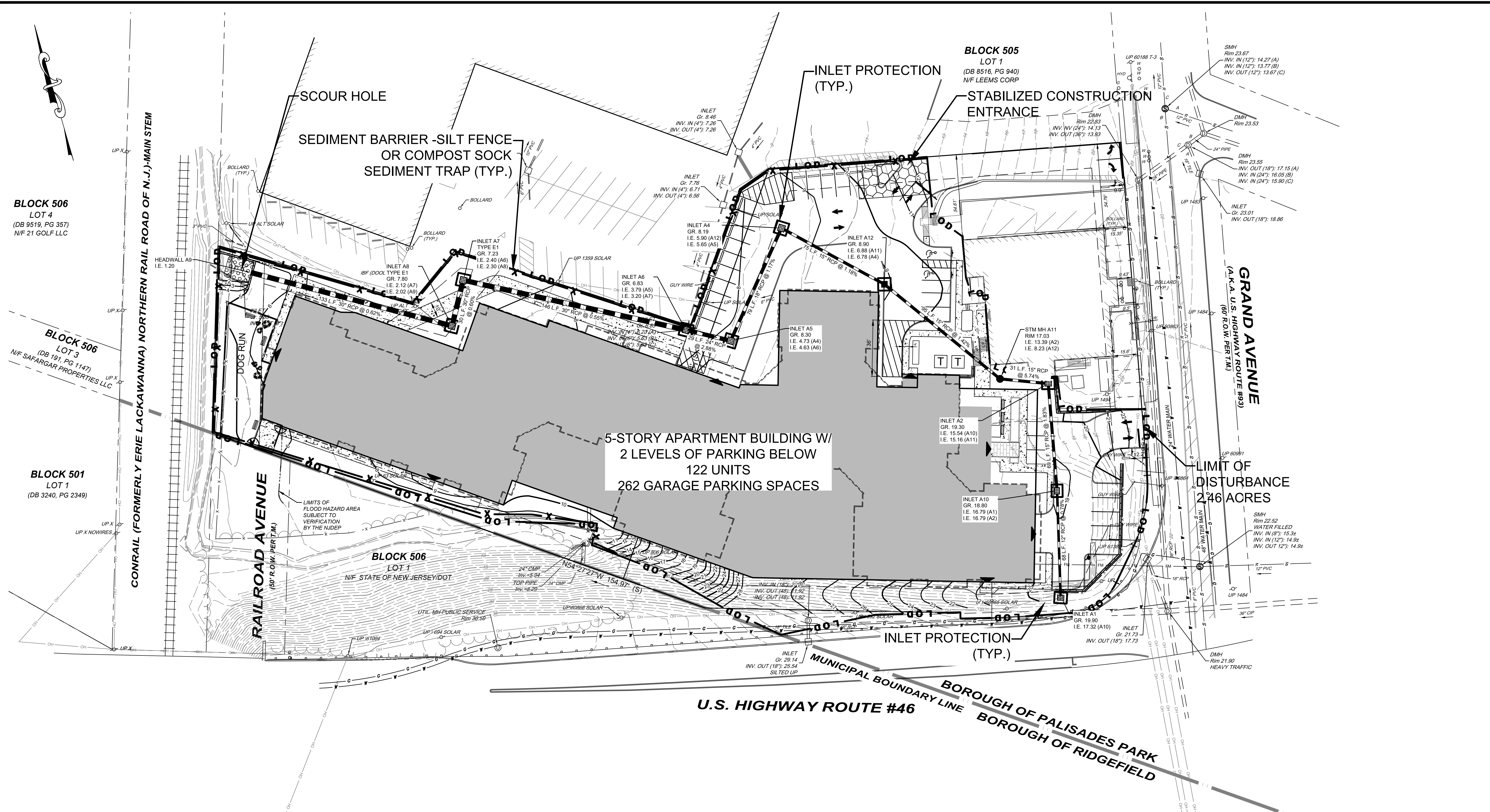
Eric J. Keller
 ERIC L. KELLER, N.J. Professional Engineer, Lic. 24GE03205400

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
15 GRAND AVENUE
UTILITY PLAN
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY

SHEET No.
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 OF

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 081197-SP-ESC.dwg
 081197-TMSTR.dwg
 081197-GRA.dwg



BLOCK 506
 LOT 4
 (DB 9519, PG 357)
 N/F 21 GOLF LLC

BLOCK 506
 LOT 3
 (DB 191, PG 1147)
 N/F SAFARGAR PROPERTIES LLC

BLOCK 501
 LOT 1
 (DB 3240, PG 2349)

CONRAIL (FORMERLY ERIE LACKAWANNA) NORTHERN RAIL ROAD OF N.J.-MAIN STEM

RAILROAD AVENUE
 (80' R.O.W. PER T.M.)

GRAND AVENUE
 (A.K.A. U.S. HIGHWAY ROUTE #63)
 (80' R.O.W. PER T.M.)

MUNICIPAL BOUNDARY LINE
 U.S. HIGHWAY ROUTE #46
 BOROUGH OF PALISADES PARK
 BOROUGH OF RIDGEFIELD

SCOUR HOLE
 SEDIMENT BARRIER-SILT FENCE
 OR COMPOST SOCK
 SEDIMENT TRAP (TYP.)

INLET PROTECTION (TYP.)
 BLOCK 505 LOT 1
 (DB 8516, PG 940)
 N/F LEEMS CORP
 STABILIZED CONSTRUCTION ENTRANCE

5-STORY APARTMENT BUILDING W/
 2 LEVELS OF PARKING BELOW
 122 UNITS
 262 GARAGE PARKING SPACES

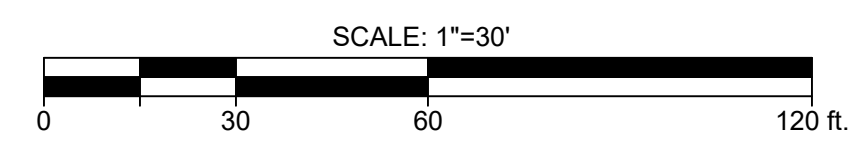
LIMIT OF DISTURBANCE
 2.46 ACRES

BLOCK 506
 LOT 1
 N/F STATE OF NEW JERSEY/DOT

PROPOSED LEGEND

	GRANITE BLOCK CURB		LIGHT SIGN
	FLUSH CURB		DETECTABLE WARNING SURFACE
	DEPRESSED CURB		CURB RAMP
	RETAINING WALL		CLEANOUT
	FENCE		
	DECORATIVE FENCE (SEE LANDSCAPE DETAILS)		
	HYDRANT		
	MANHOLE		
	INLET, TYPE B		
	INLET, TYPE E		
	HEADWALL		
	UTILITIES (TEL., ELEC., & CABLE)		
	GAS LINE		
	WATER LINE		
	SANITARY LATERAL		
	SANITARY SEWER		
	STORM SEWER		

NOTE: THE ENTIRE PROJECT SITE IS LOCATED WITHIN URBAN (UR) SOIL.



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SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES

NO.	REVISION	DATE	CHKD.
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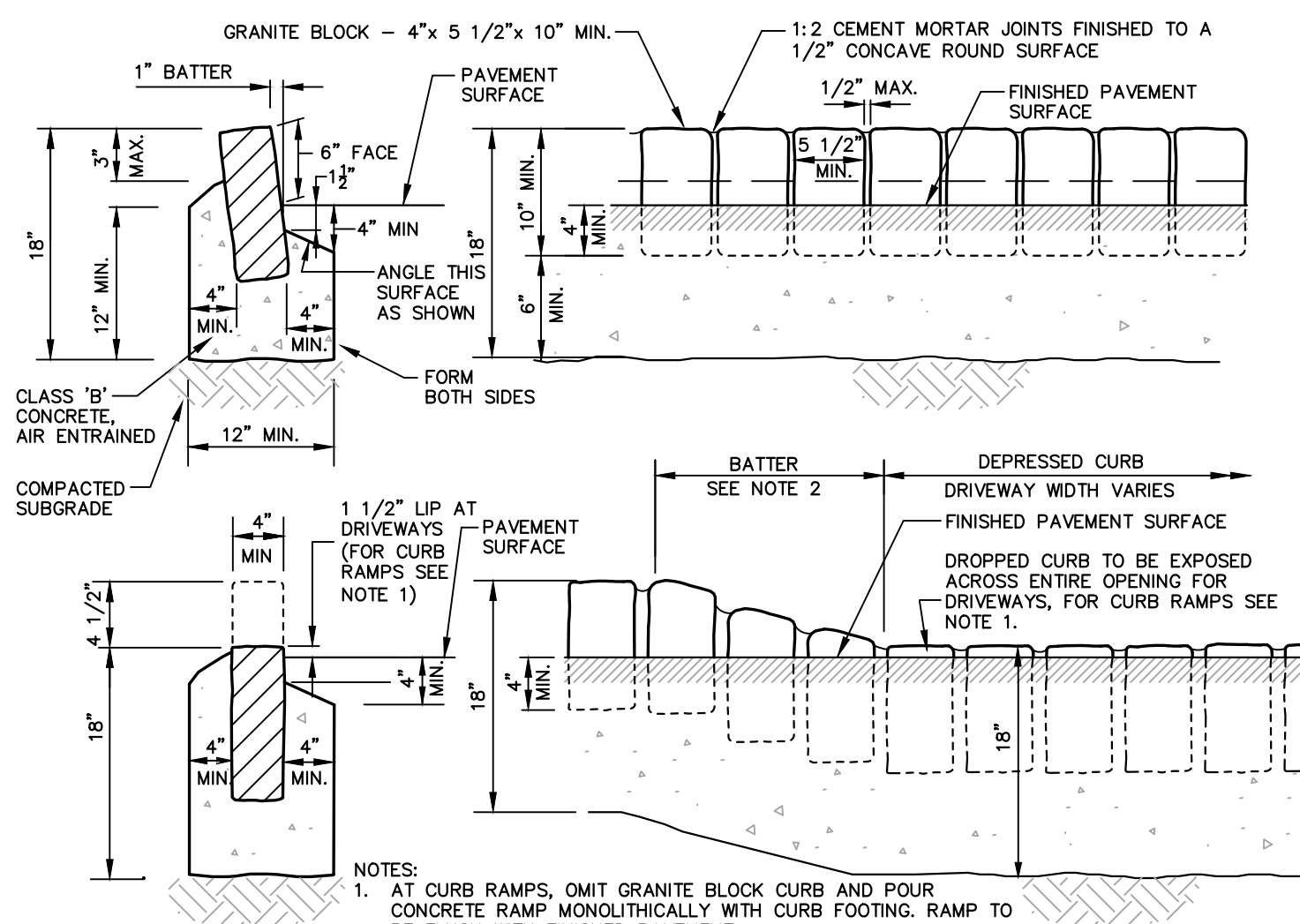
PROJ: 081197-01-001
 DATE: 11/15/2021
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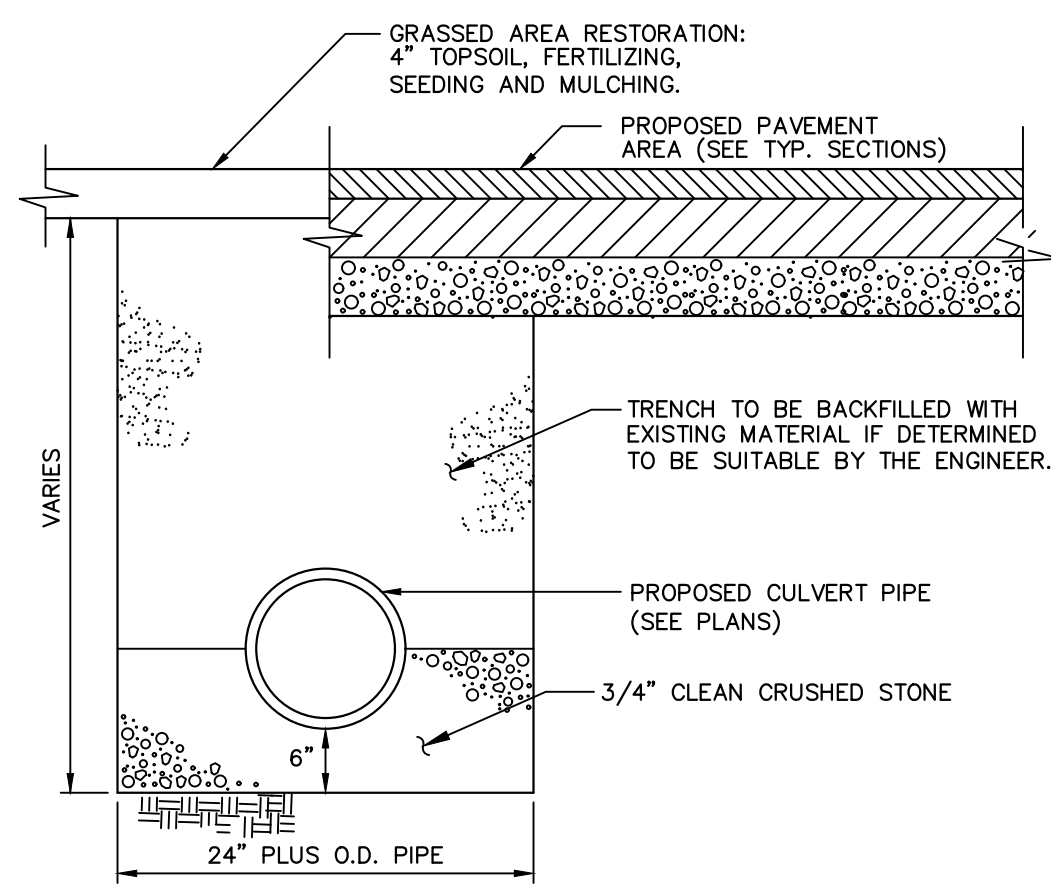
Bowman Consulting Group Ltd
 54 Honesill Road, Suite 100
 New Jersey 07187
 bowman.com
 E-mail: NJ@Bowman.com
 Phone: 875-358-8400
 NJ Certificate of Authorization No. 24G02822600
 ERIC L. KELLER, N.J. Professional Engineer, Lic. 24GE03205400

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN
 PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
 15 GRAND AVENUE
 SOIL EROSION AND
 SEDIMENT CONTROL PLAN
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY
 SHEET No.
 10
 14
 OF

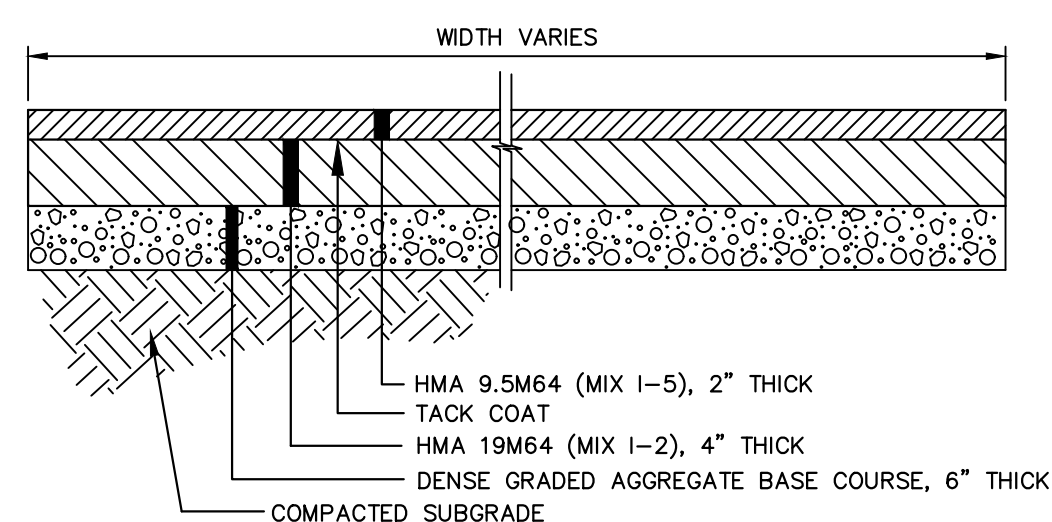
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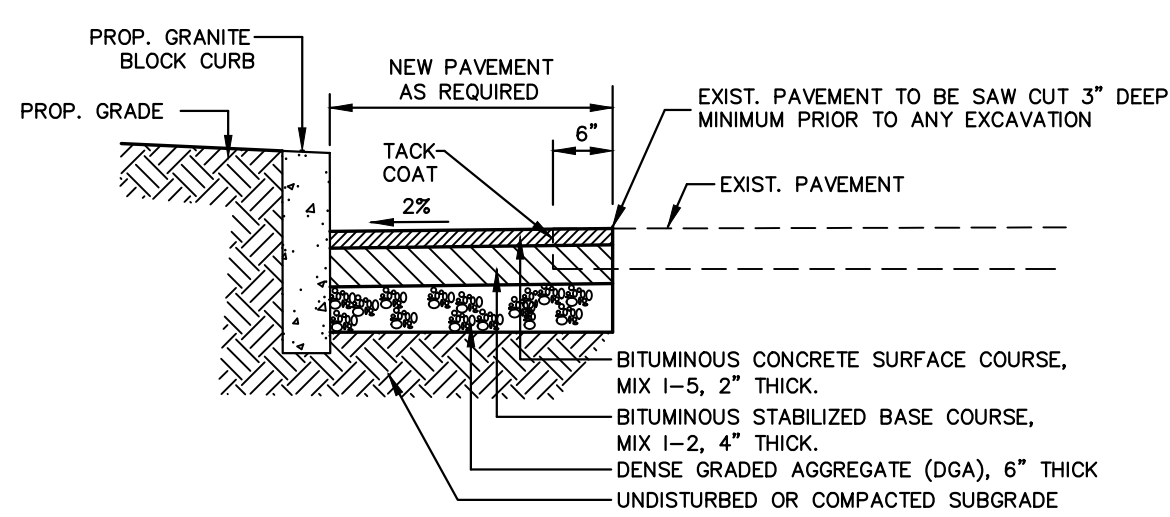
GRANITE BLOCK CURB DETAIL
N.T.S.



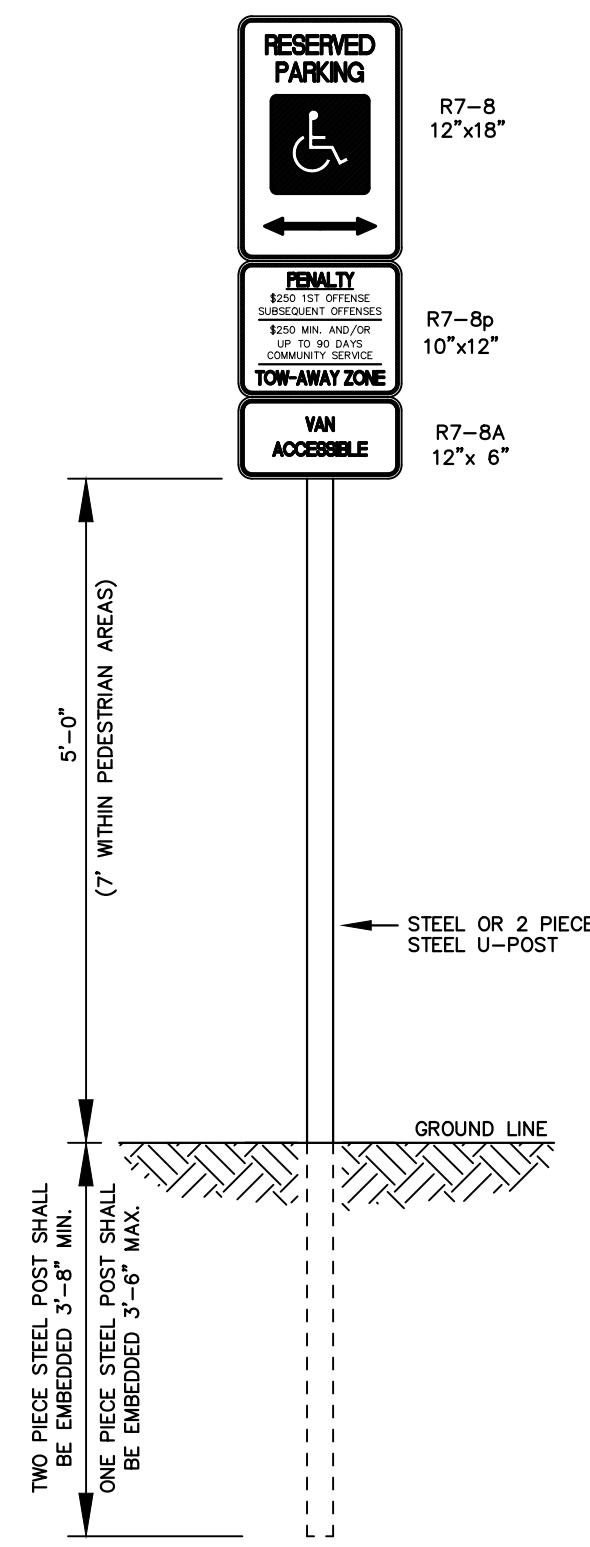
TRENCH BACKFILL DETAIL
N.T.S.



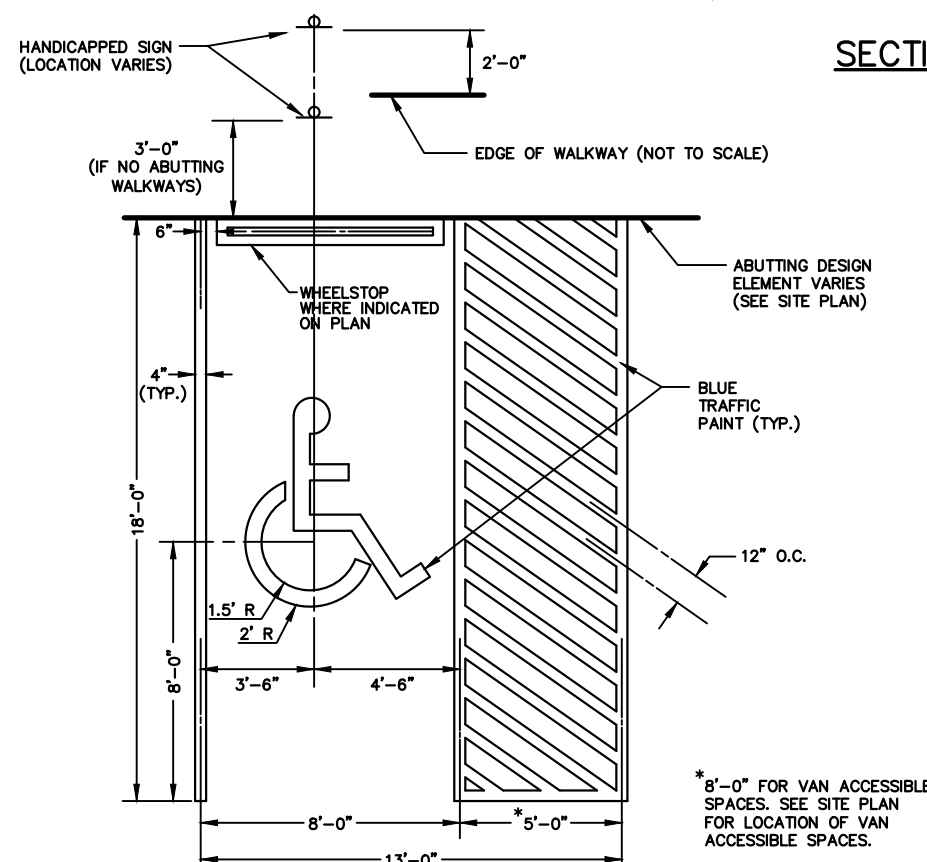
TYPICAL SECTION HMA FULL DEPTH ASPHALT
N.T.S.



TYPICAL PAVEMENT REPAIR
N.T.S.

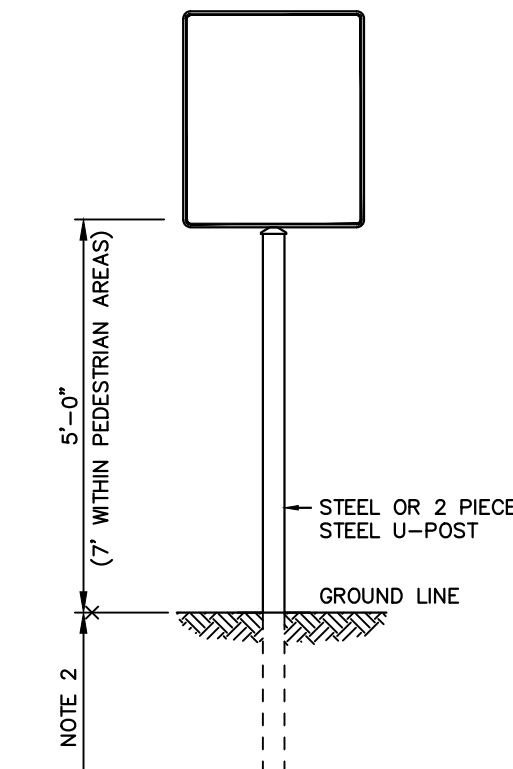


HANDICAPPED PARKING SIGNS
N.T.S.

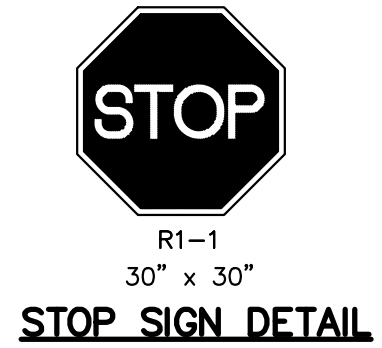


HANDICAPPED PARKING SPACE
N.T.S.

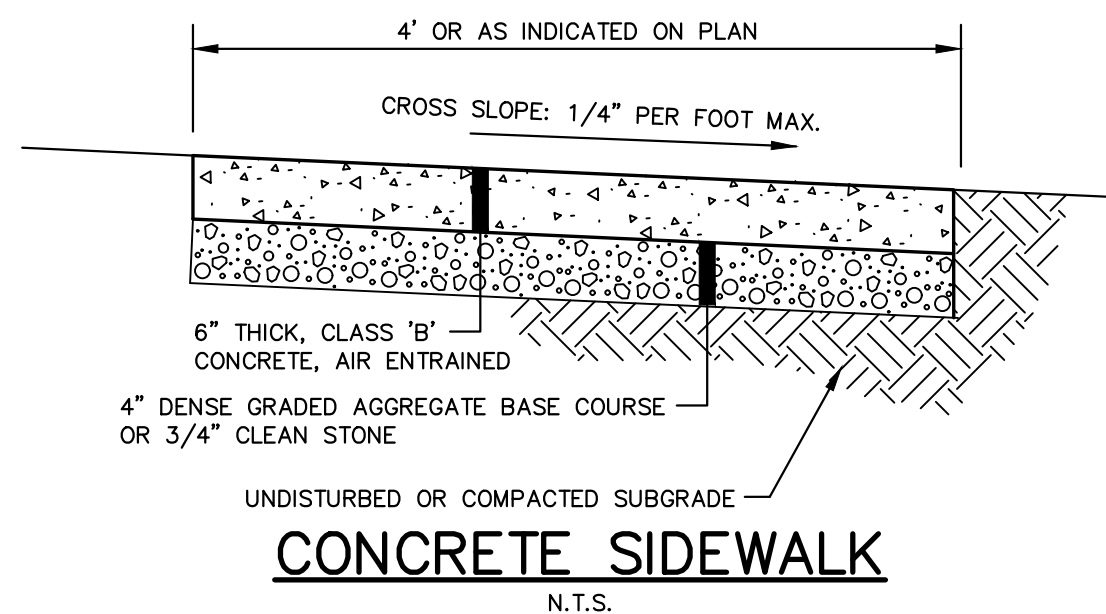
- GENERAL NOTES:**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS."
 2. TWO PIECE STEEL POST SHALL BE EMBEDDED 3'-8" MIN. ONE PIECE STEEL POST SHALL BE EMBEDDED 3'-6" MAX.
 3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATIONS A 123.
 4. POSTS MAY BE STEEL OR 2 PIECE STEEL U-POST IN CONFORMANCE WITH THE NOTES BELOW.
 5. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.



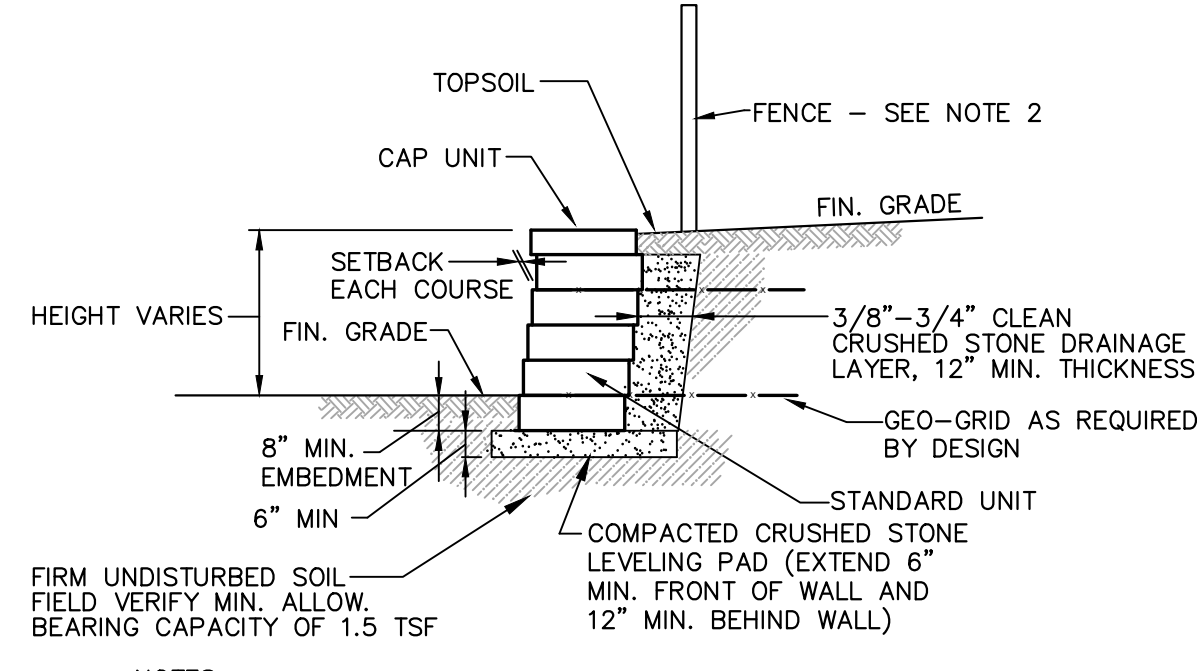
STREET MOUNTING
SCALE: N.T.S.



STOP SIGN DETAIL

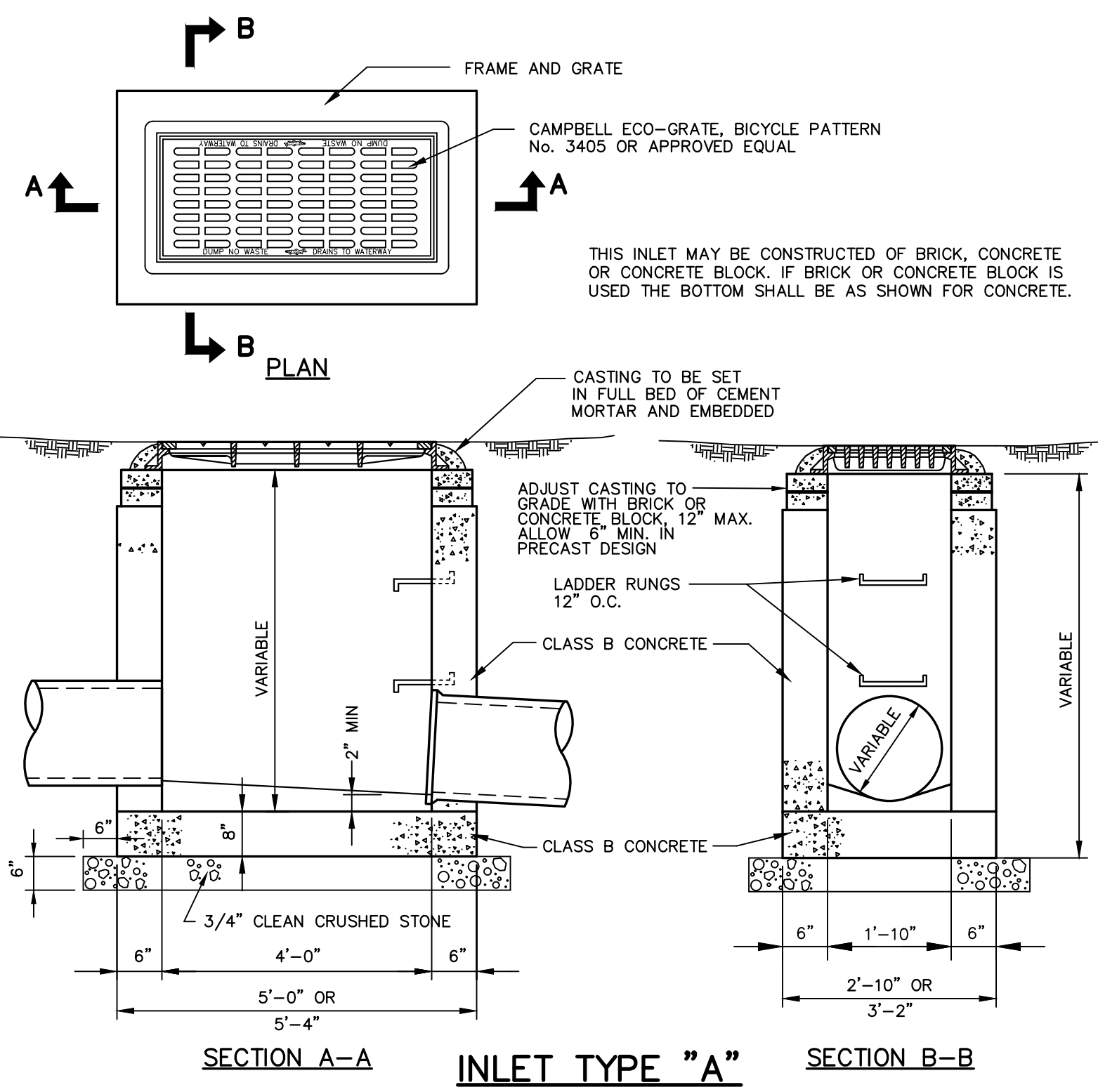


CONCRETE SIDEWALK
N.T.S.

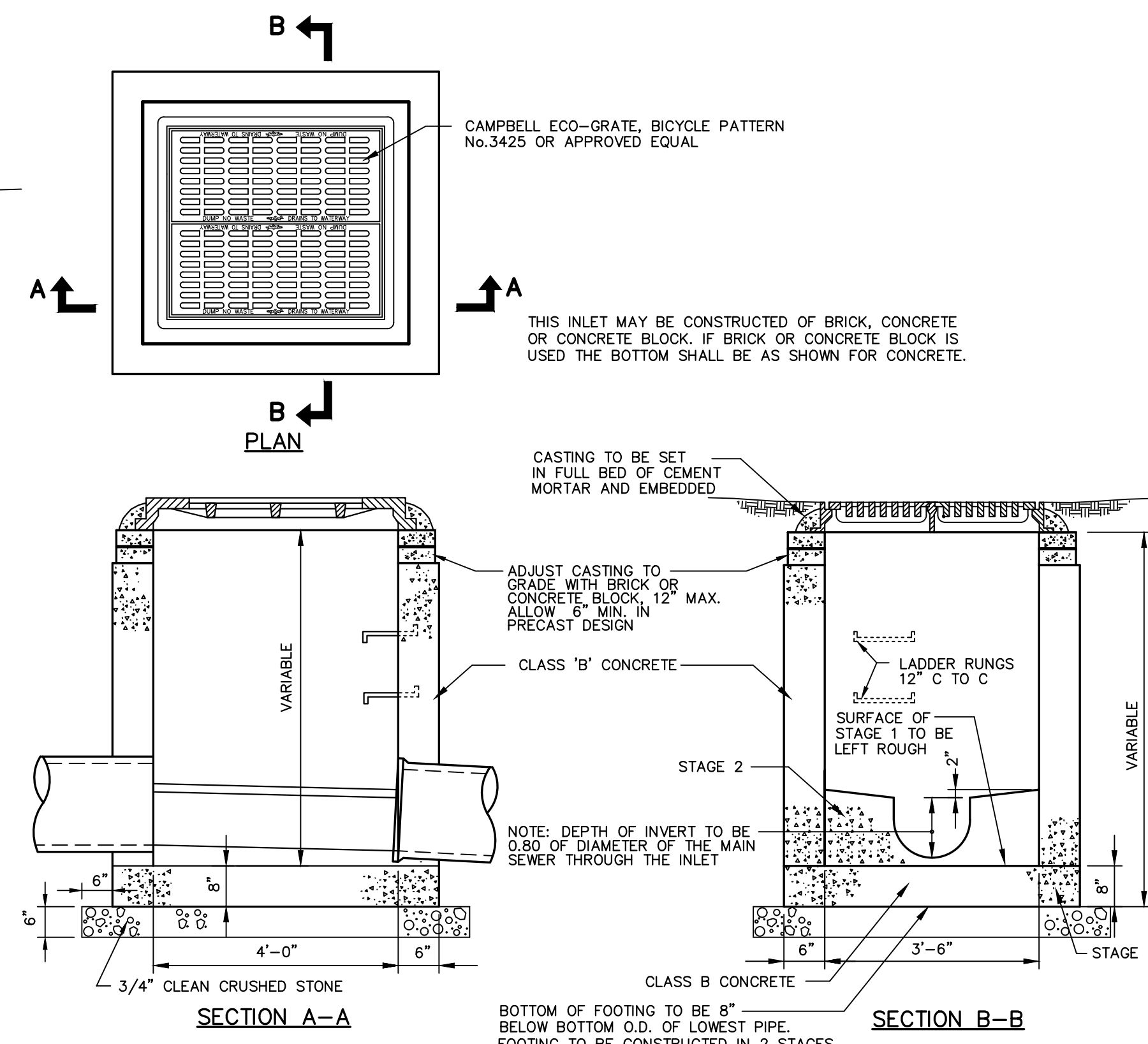


- NOTES:**
1. STABILITY CALCULATIONS PREPARED BY A P.E. TO BE PROVIDED TO THE MUNICIPAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. FOR WALLS 30" OR HIGHER PROVIDE GUARD PER IBC 1015.
 3. CONTRACTOR SHALL VERIFY THAT SELECTED WALL MANUFACTURER'S BATTER WILL NOT IMPACT DESIGN OF IMPROVEMENTS AT TOP OF WALL.

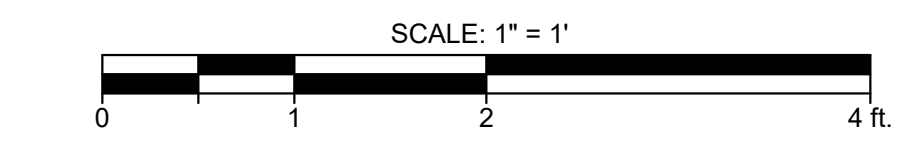
MODULAR RETAINING WALL DETAIL



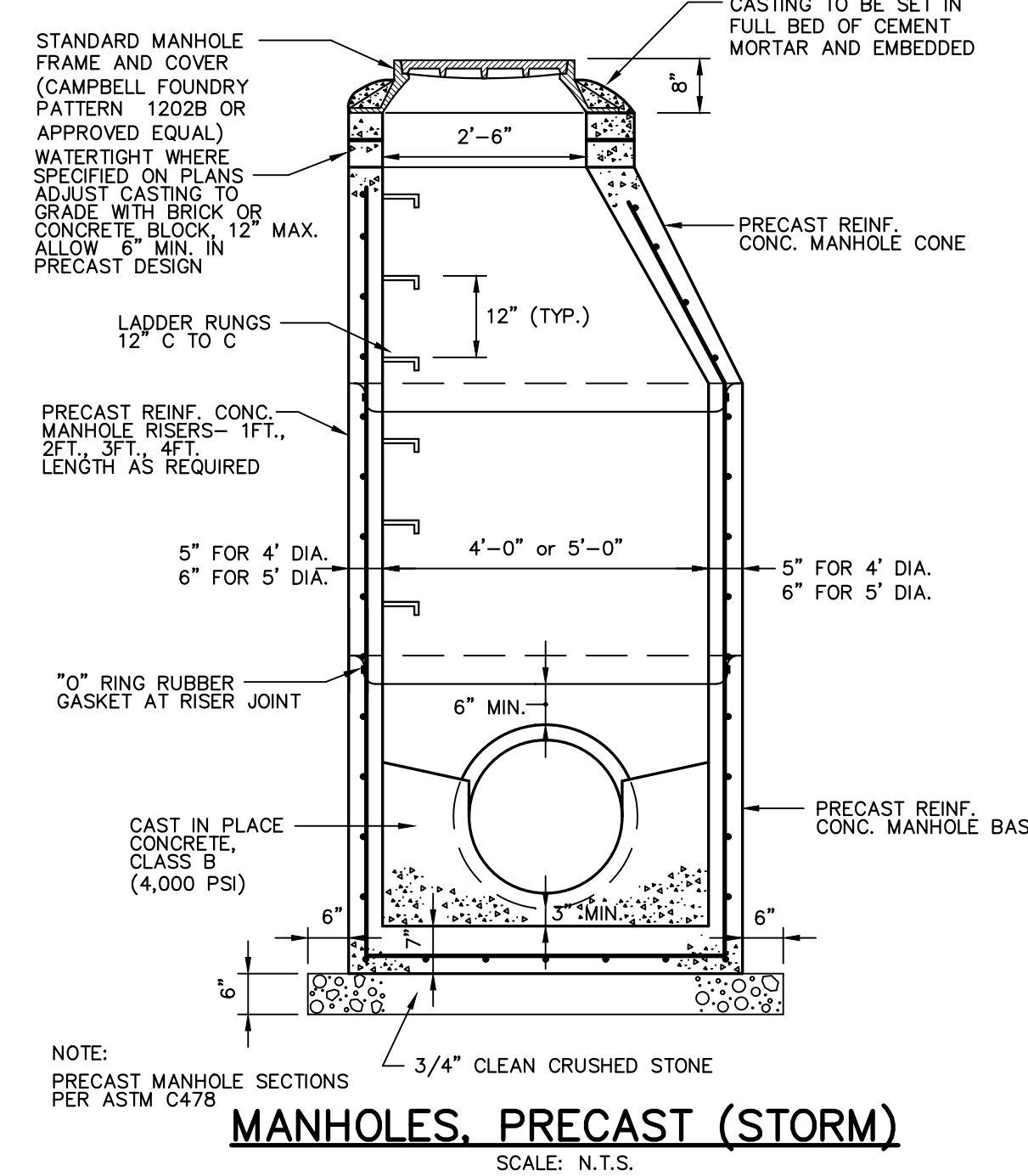
INLET TYPE "A"
SCALE: N.T.S.



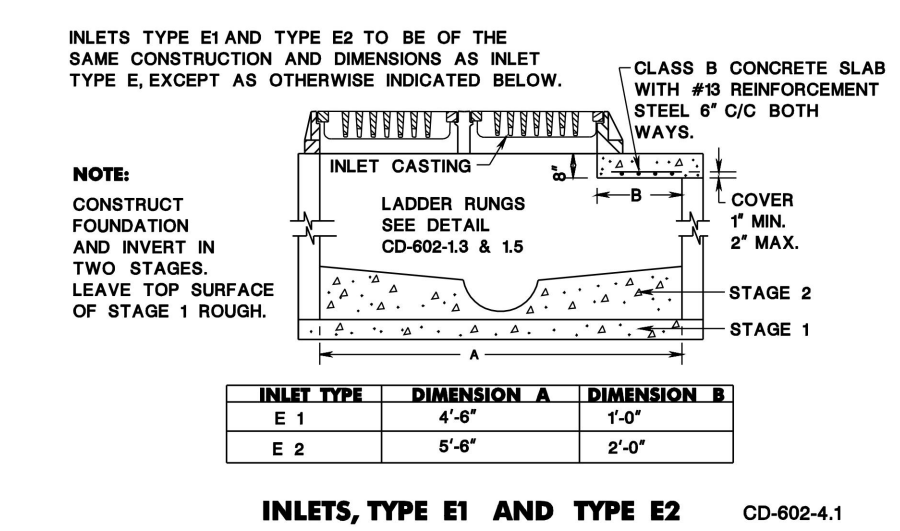
INLET TYPE "E"
N.T.S.



THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION
SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES



MANHOLES, PRECAST (STORM)
SCALE: N.T.S.



INLETS, TYPE E1 AND TYPE E2
CD-802-4.1

NO.	REVISION	DATE	CHKD
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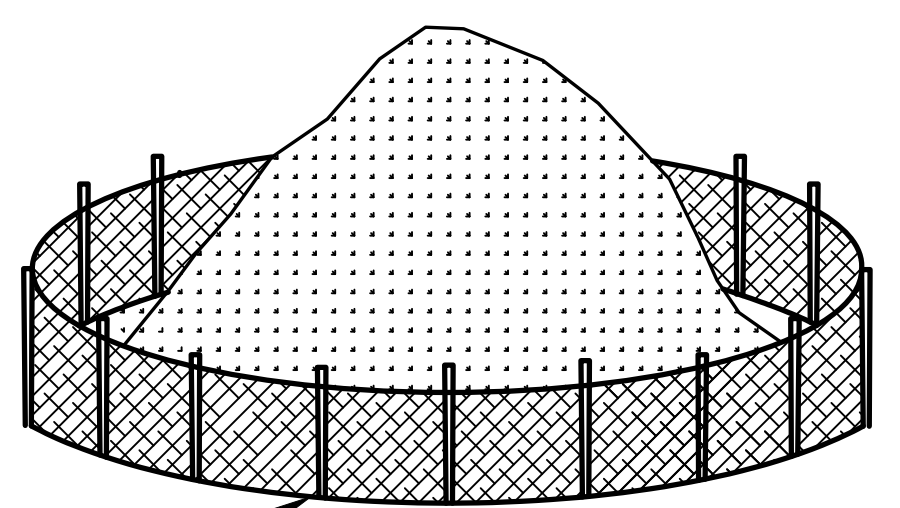
PROJ: 081197-01-001
 DATE: 11/15/2021
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Eric L. Keller
 Professional Engineer, Lic. 24GE03205400
 Eric L. Keller, N.J. Professional Engineer, Lic. 24GE03205400

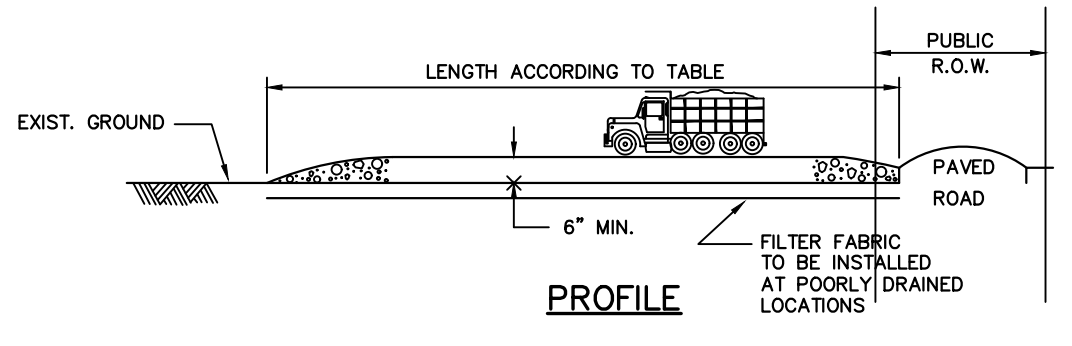
PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN
 PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
15 GRAND AVENUE
DETAILS 1
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY
 SHEET No. **11** OF **14**

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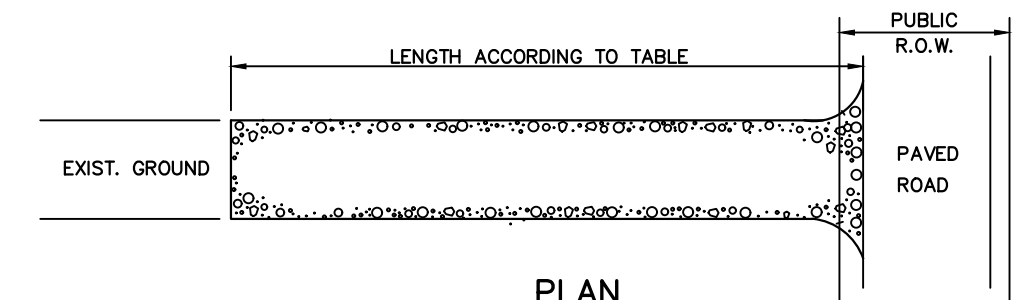


TOPSOIL STOCK PILE DETAIL

REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY - 9-1



PROFILE



PLAN

NOTES

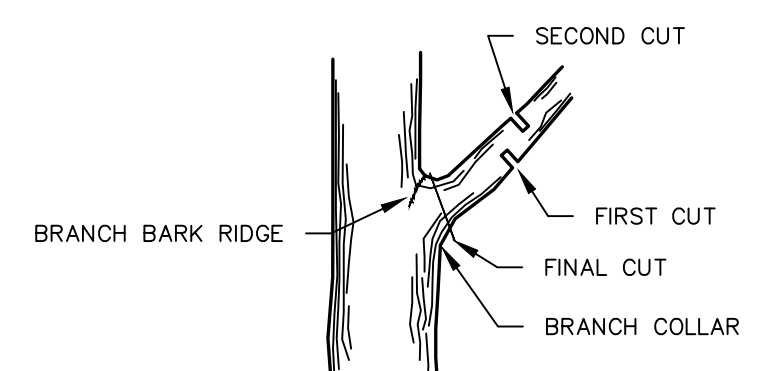
STONE SIZE 1 1/2" - 2 1/2" CRUSHED STONE
 WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.
 WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
 MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
 WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

PERCENT SLOPE OF ROADWAY	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE MIX 1-2	

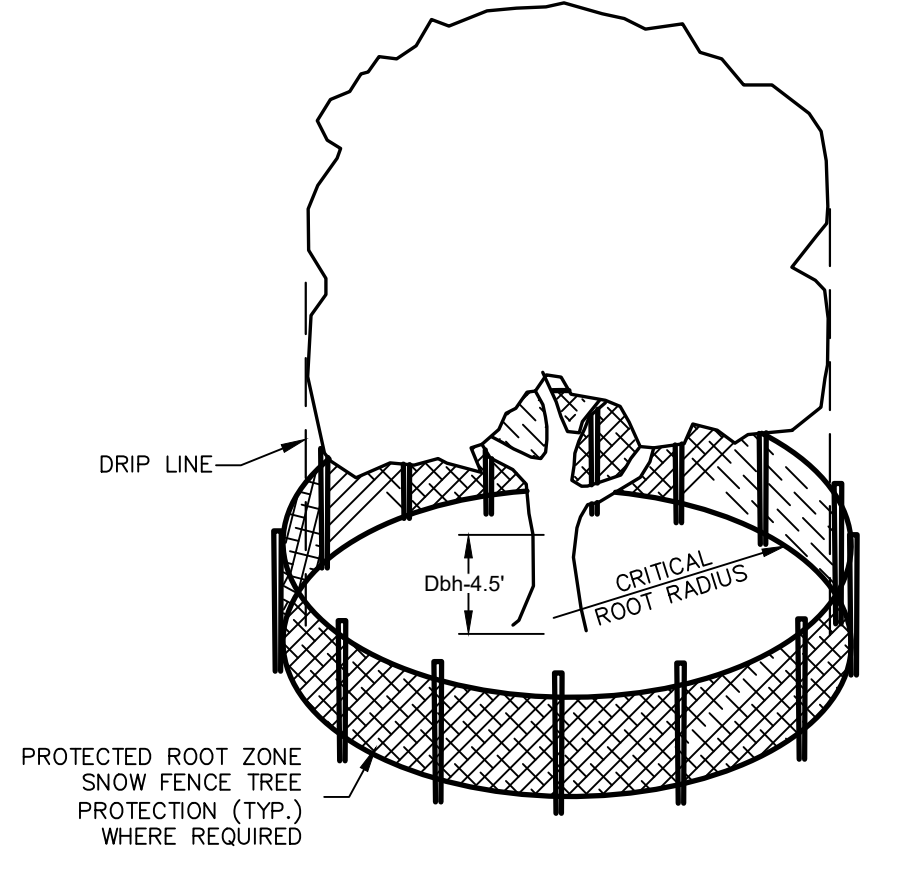
1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



REMOVAL OF TREE LIMB

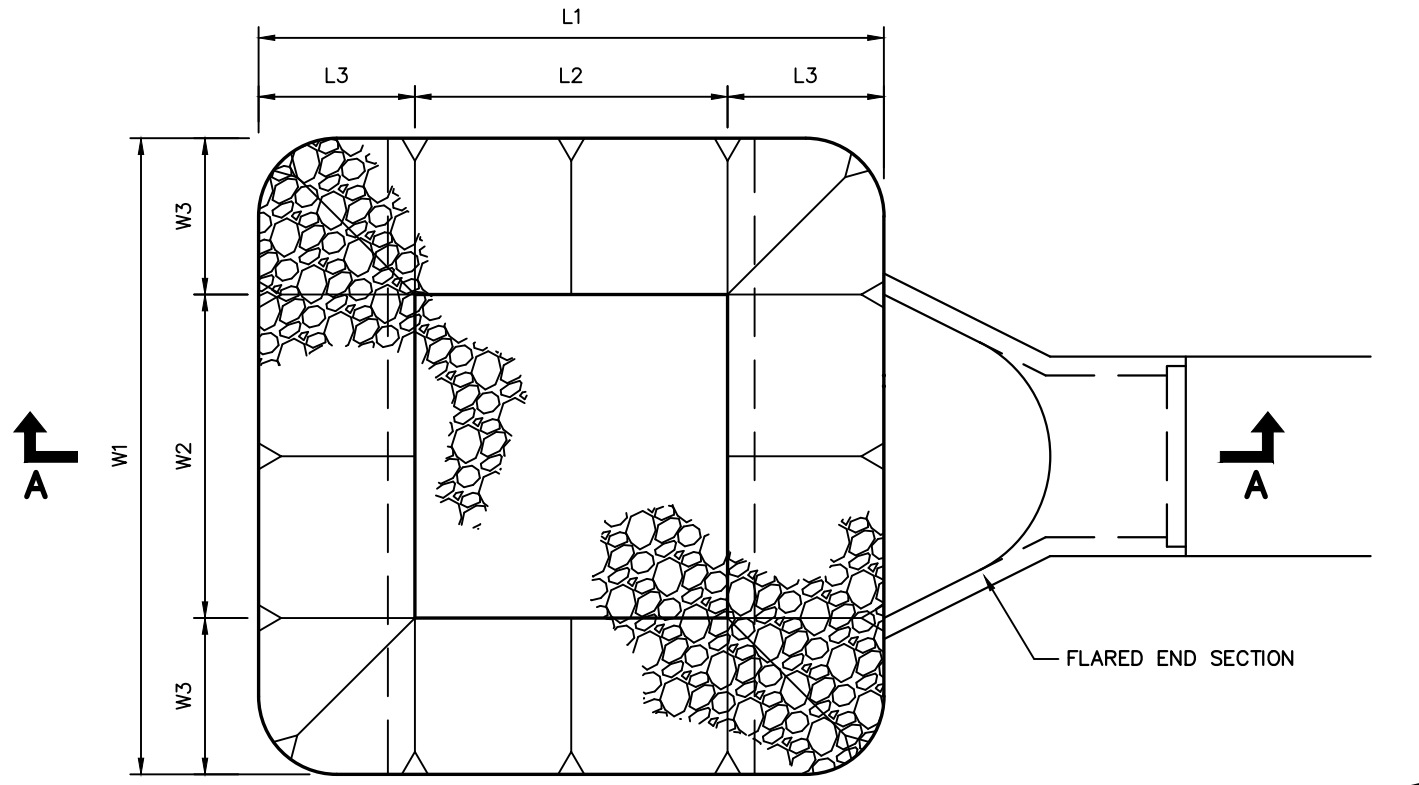


ESTIMATE PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR):

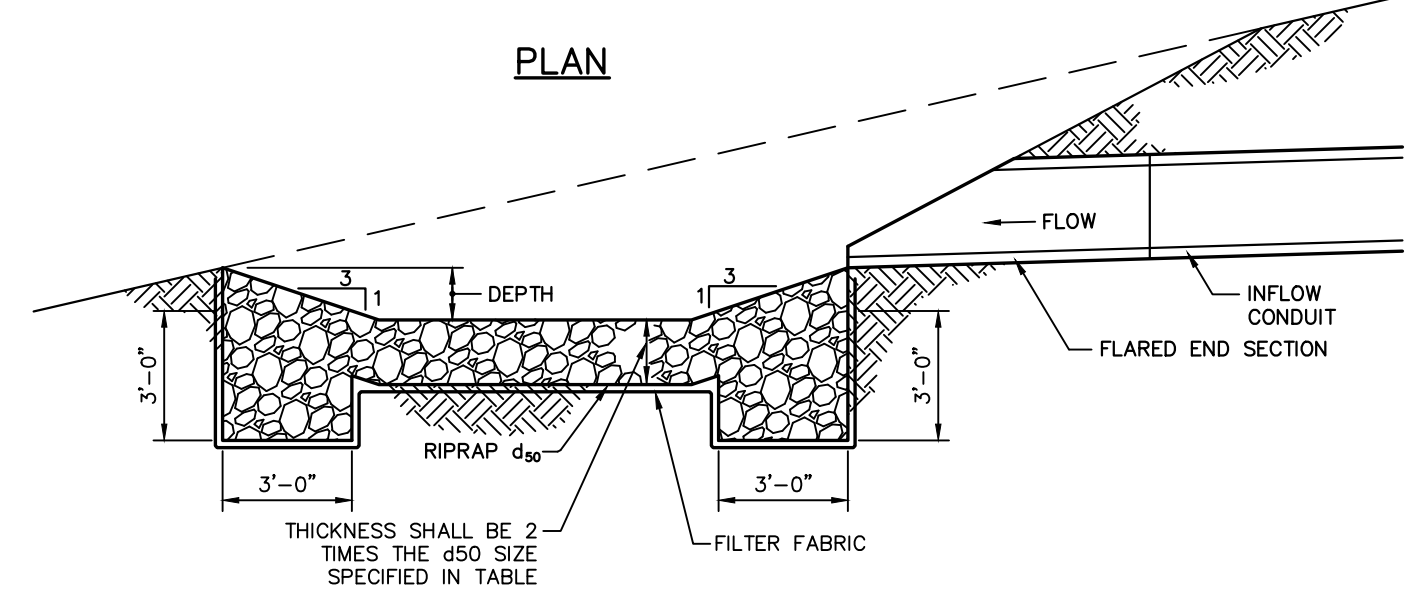
- MEASURE THE Dbh (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON UPHILL SIDE) IN INCHES.
- MULTIPLY MEASURED Dbh BY 1.5 OR 1.0, EXPRESS RESULT IN FEET.
 - CRR FOR UNHEALTHY / SENSITIVE SPECIES: Dbh X 1.5
 - CRR FOR YOUNGER HEALTHY TREES: Dbh X 1.0

TREE PROTECTION FENCE DETAIL

REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY - 9.1



PLAN



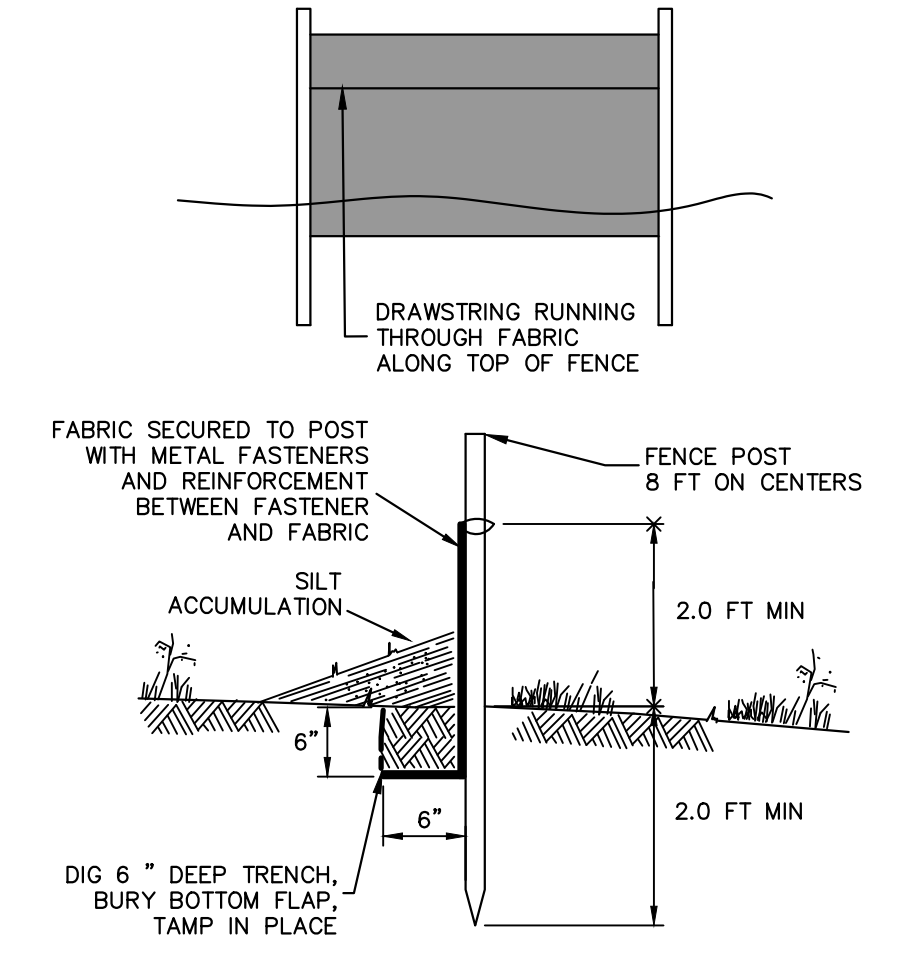
SECTION A-A

NOTE: RIPRAP SHALL CONFORM TO "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY."

SCOUR HOLE LOCATION	PIPE SIZE (IN.)	RIPRAP d50 (IN.)	DEPTH (FT.)	L1 (FT.)	L2 (FT.)	L3 (FT.)	W1 (FT.)	W2 (FT.)	W3 (FT.)
A9	30	6	1.00	16.5	7.5	4.5	14	5	4.5

PREFORMED SCOUR HOLE

SCALE: NTS



SILT FENCE DETAIL

N.T.S.

SEQUENCE OF CONSTRUCTION

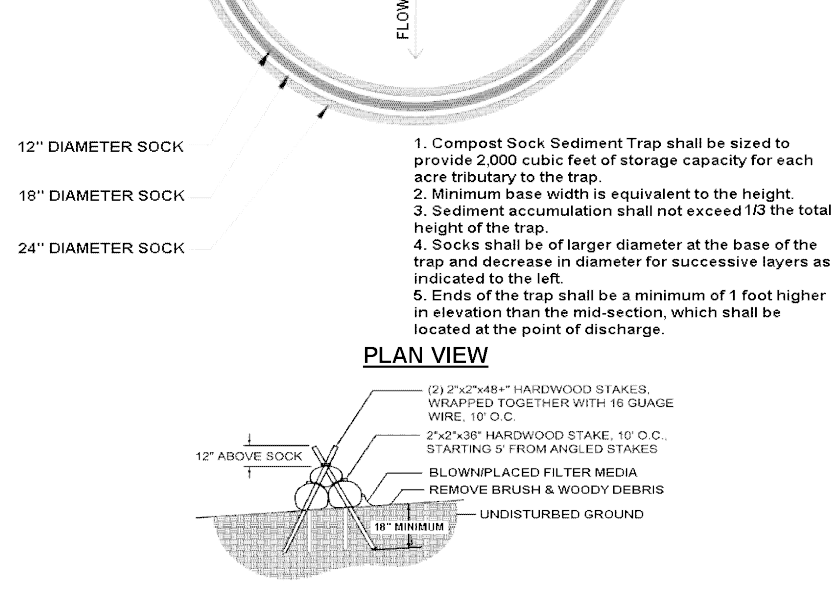
TASK No.	ITEM	APPROX. DURATION
1	INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE AND INLET FILTERS.	1 WEEK
2	DEMOLISH EXISTING BUILDING AND BEGIN ROUGH GRADING.	1 MONTH
3	BEGIN BUILDING CONSTRUCTION.	20 MONTHS
4	INSTALL STORM SEWER SYSTEM	2 WEEKS
5	PLACE INLET FILTERS AS STRUCTURES ARE COMPLETED.	1 DAY
6	CONSTRUCT DRIVEWAY AND PARKING LOTS, APPLY BITUMINOUS BASE COURSE.	5 WEEKS
7	INSTALL LIGHTING AND LANDSCAPING.	2 WEEKS
8	FINAL GRADE AROUND BUILDING. STABILIZE ALL DISTURBED AREAS.	2 DAYS
9	TOPSOIL AND PERMANENT SEED ALL AREAS.	1 WEEK
10	APPLY FINAL BITUMINOUS CONCRETE SURFACE COURSE.	2 WEEKS
11	INSTALL PAVEMENT MARKINGS.	3 DAYS
12	REMOVE REMAINING SOIL EROSION CONTROL DEVICES WHEN SITE IS STABILIZED.	3 DAYS

APPROXIMATE PROJECT DURATION 24 MONTHS

NOTES: THIS SEQUENCE OF CONSTRUCTION IS GENERAL AND TASKS MAY OVERLAP. THIS PROJECT WILL BE COMPLETED IN ONE PHASE.

STANDARD CONSTRUCTION DETAIL #3-11

Compost Sock Sediment Trap



Adapted from Filtrxxx

Soak material shall meet the standards of Table 4.1. Compost shall meet the standards of Table 4.2.

Compost sock sediment traps shall not exceed three socks in height and shall be stacked in pyramidal form as shown above. Minimum trap height is one 24" diameter sock. Additional storage may be provided by means of an excavated sump 12" deep extending 1 to 3 feet upslope of the socks along the lower side of the trap.

Compost sock sediment traps shall provide 2,000 cubic feet storage capacity with 12" freeboard for each tributary drainage acre. (See manufacturer for anticipated settlement.)

The maximum tributary drainage area is 5.0 acres. Since compost socks are "flow-through," no spillway is required.

Compost sock sediment traps shall be inspected weekly and after each runoff event. Sediment must be removed when it reaches 1/3 the height of the socks.

Photodegradable and biodegradable socks shall not be used for more than 1 year.

Material Type	Material Type			
	3 mil HDPE	5 mil HDPE	5 mil HDPE	Heavy Duty Multi-Filament Polypropylene (MFPF)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable
Mesh Opening	12"	12"	12"	12"
Tensile Strength	26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year

Parameter	Standard
Organic Matter Content	80% - 100% (dry weight basis)
Organic Fraction	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	88% pass through 1" screen
Soluble Salt Concentration	5.0 cSm (mmhos-cm) Maximum

Filtrxxx

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unrotted straw at a rate of 2 tons per acre anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:
 - Temporary Seeding and Mulching:
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 11 lbs. /1,000 sf of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil a minimum of 4".
 - Seed - perennial ryegrass 100 lbs./acre (2.3 lbs. /1,000 sf) or other approved seed; plant between March 1 and May 15 or between August 15 and October 1.
 - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs. /1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
 - Permanent Seeding and Mulching:
 - Topsoil - A uniform application to an average depth of 5", minimum of 4" firmed in place is required.
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 11 lbs. /1,000 sf of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil a minimum of 4".
 - Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (8 lbs. /1,000 sf) or other approved seed; plant between March 1 and October 1.
 - (summer seeding requires irrigation)
 - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs. /1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1" - 2 1/2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649. Tel: 201-261-4407; Fax 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all report of compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

STANDARD FOR DUST CONTROL (Per Standards... Dust Control 16-1, May 2012)

DEFINITION - The control of dust on construction sites and roads.

PURPOSE - To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage and health hazards, and improve traffic safety.

CONDITION WHERE PRACTICE APPLIES - This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

WATER QUALITY ENHANCEMENT - Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

PLANNING CRITERIA - The following methods should be considered for controlling dust:

- Mulches - See Standards for Stabilization with mulches Only (p. 5-1)
- Vegetative Cover - See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1) and Permanent Stabilization with Sod (p. 6-1)
- Spray-on Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials:

Material	Water Dilution	Type of Nozzle	Gal./Acre
Anionic asphalt emulsion	7:1	Coarse Spray	1,200
Latex Emulsion	12.5:1	Fine Spray	235
Resin in Water	4:1	Fine Spray	300

Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard (pg 26-1).

Tillage: To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling: Site is sprinkled until the surface is wet.

Barriers: Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

Calcium Chloride: Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone: Cover surface with crushed stone or coarse gravel.

SOIL COMPACTION EXEMPTION NOTE:
 AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (MPA). IN ACCORDANCE WITH NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL STANDARD FOR LAND GRADING (19-1, REVISED JULY 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS AN "URBAN REDEVELOPMENT". THEREFORE, THE PROJECT IS EXEMPT FROM THE SOIL COMPACTION REMEDIATION REQUIREMENTS.

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION
SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES

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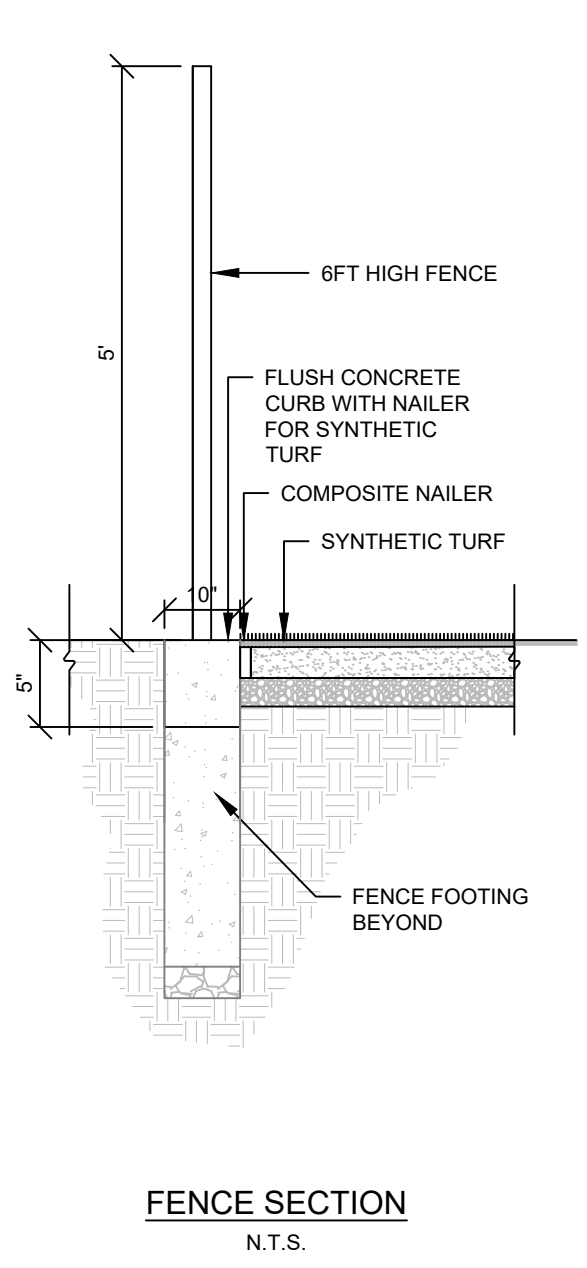
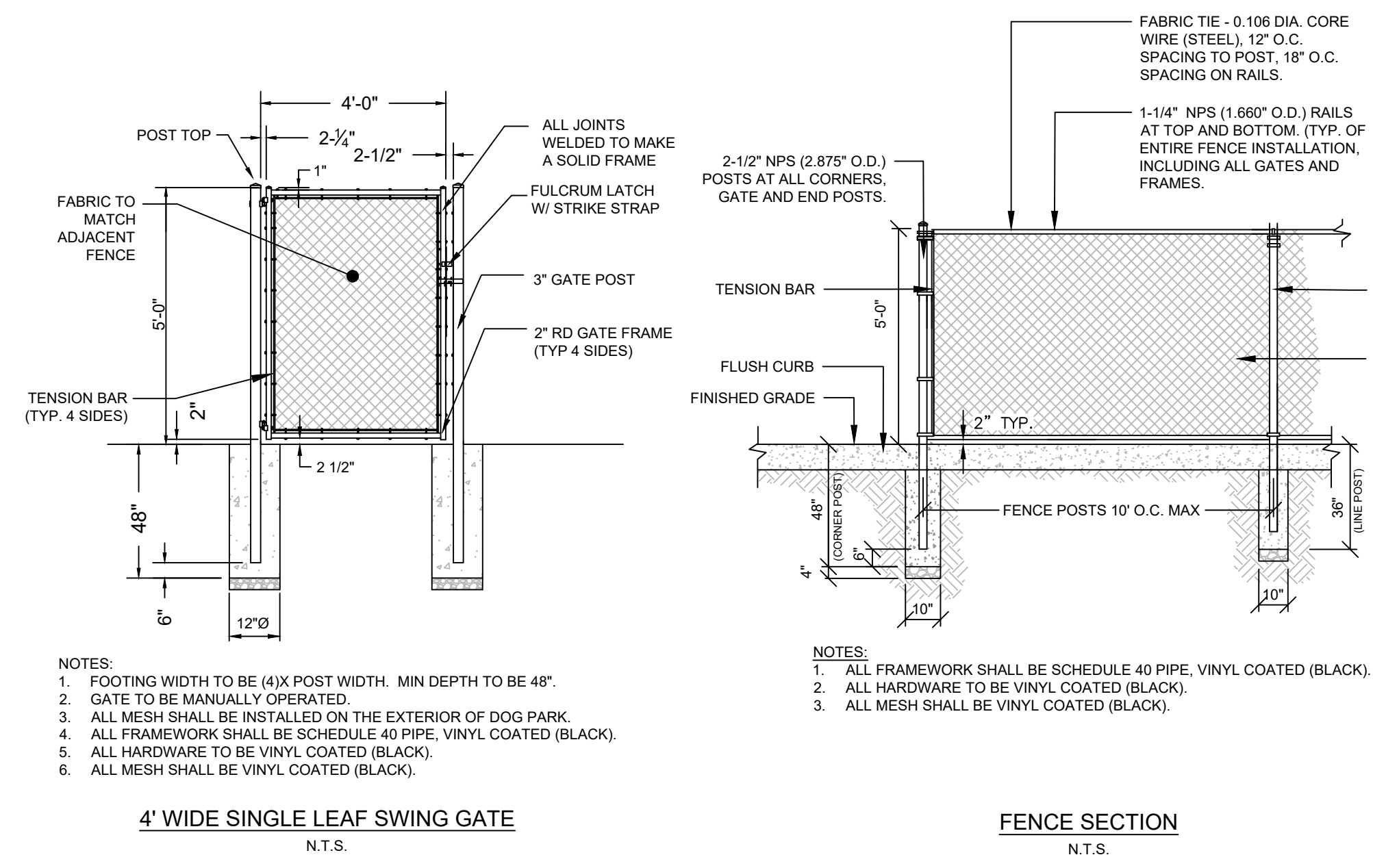
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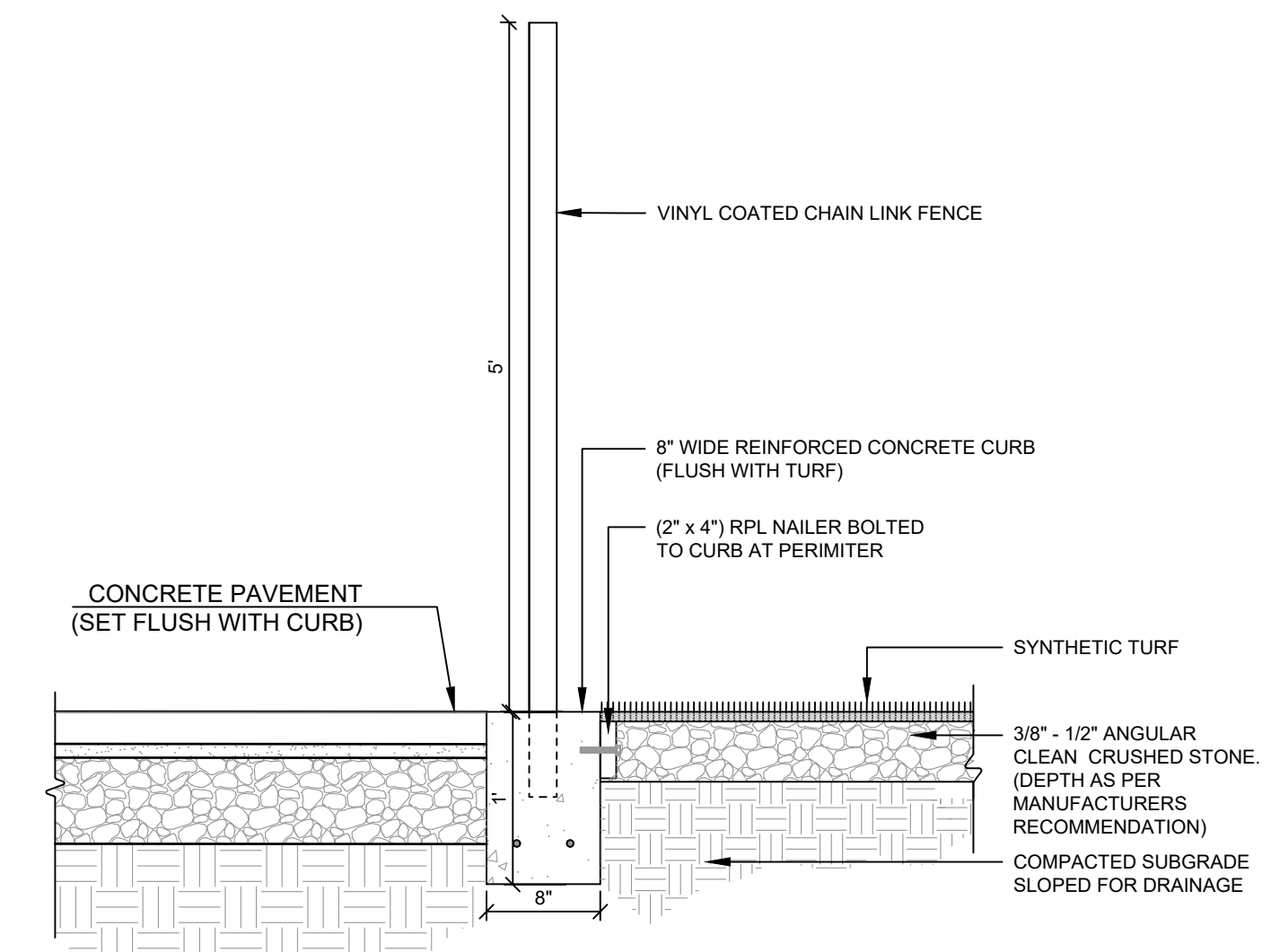
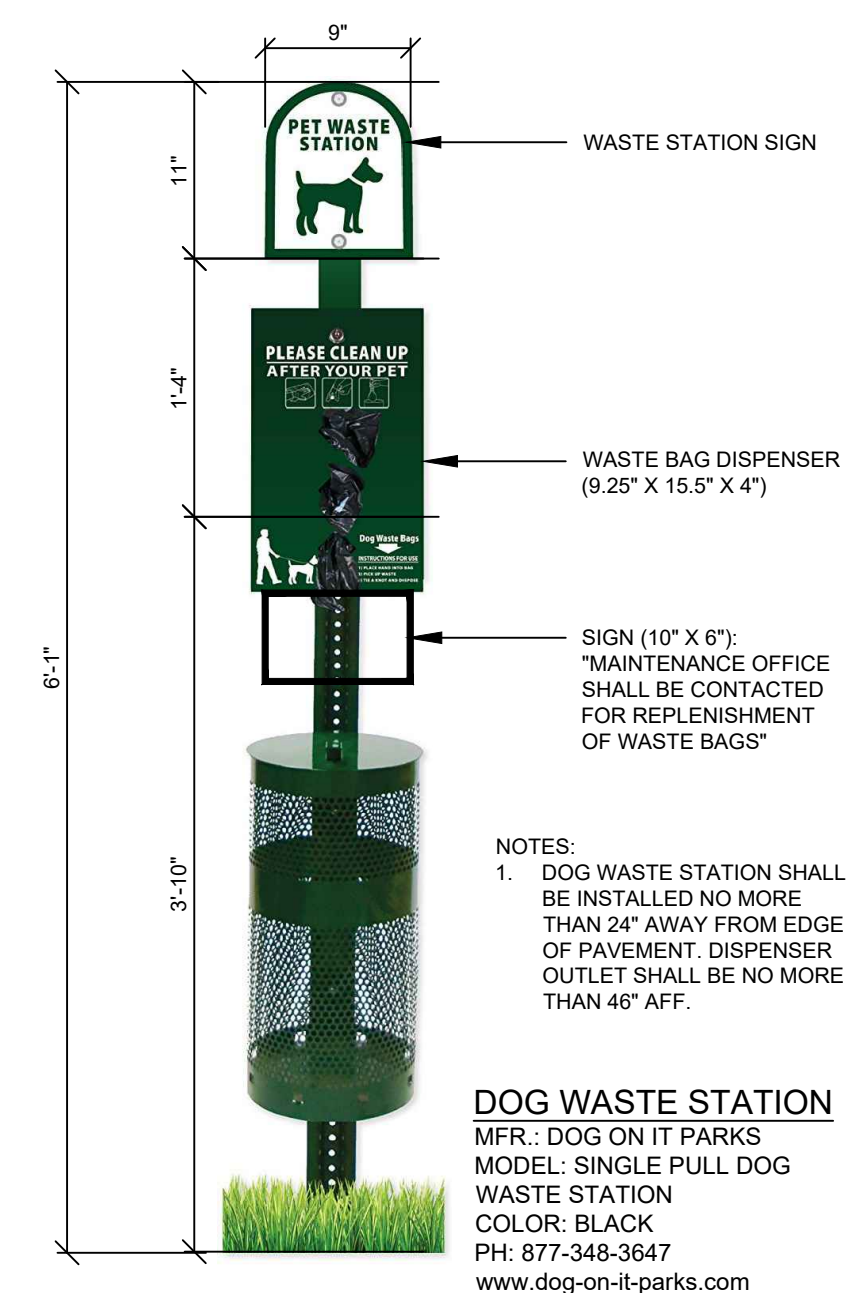
Phone: 973-389-9400
 Fax: 973-389-9405
 CAD: Kelli Kneib, New Jersey 07827
 E-mail: KJB@bowman.com
 NJ Certificate of Authorization No. 26A03022800
 ERIC L. KELLER, N.J. Professional Engineer, Lic. 24A030265400

PLANS ARE FINAL FOR SANITARY SEWER AND WATER MAIN DESIGN
 PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
 15 GRAND AVENUE
 DETAILS 2
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY
 SHEET No. 12 OF 14

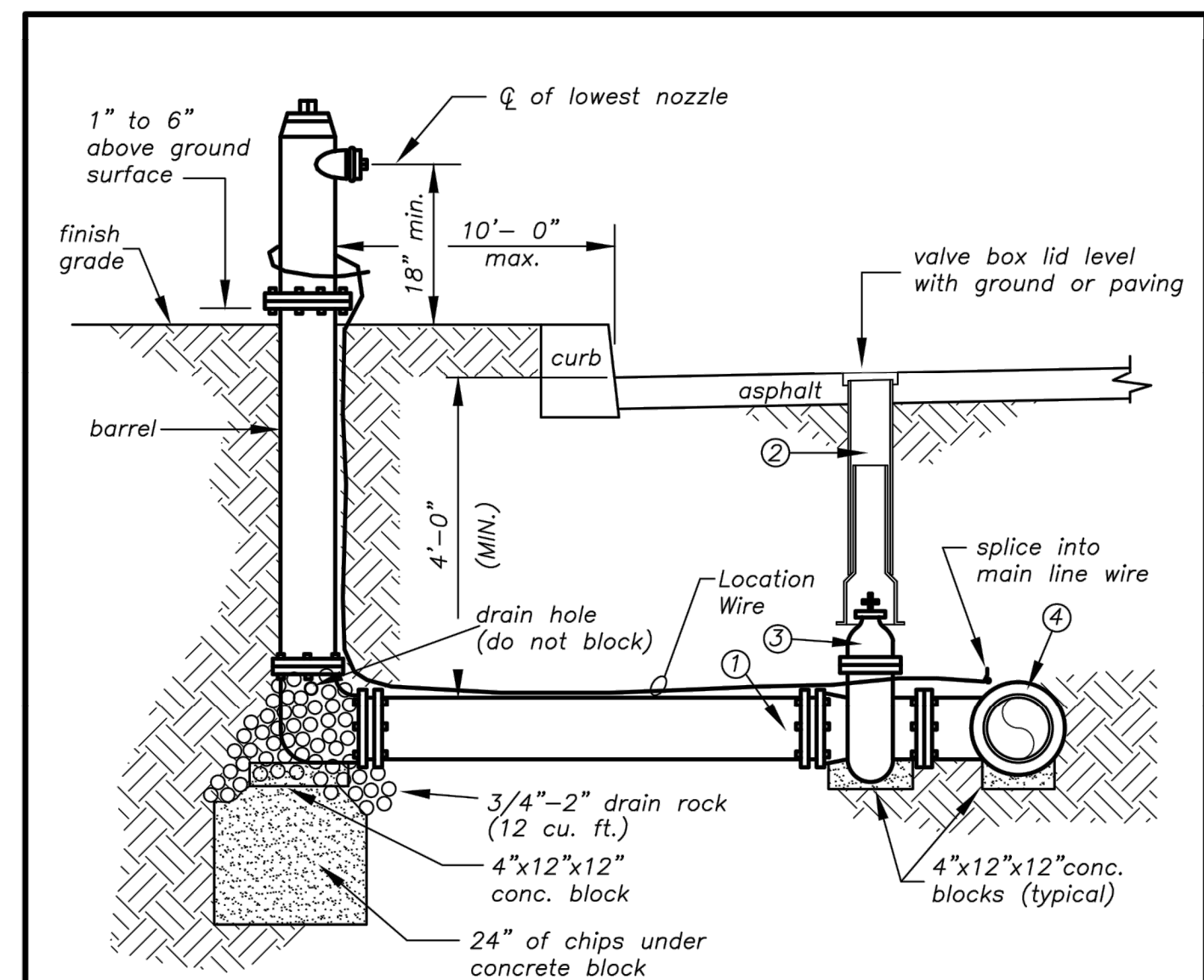
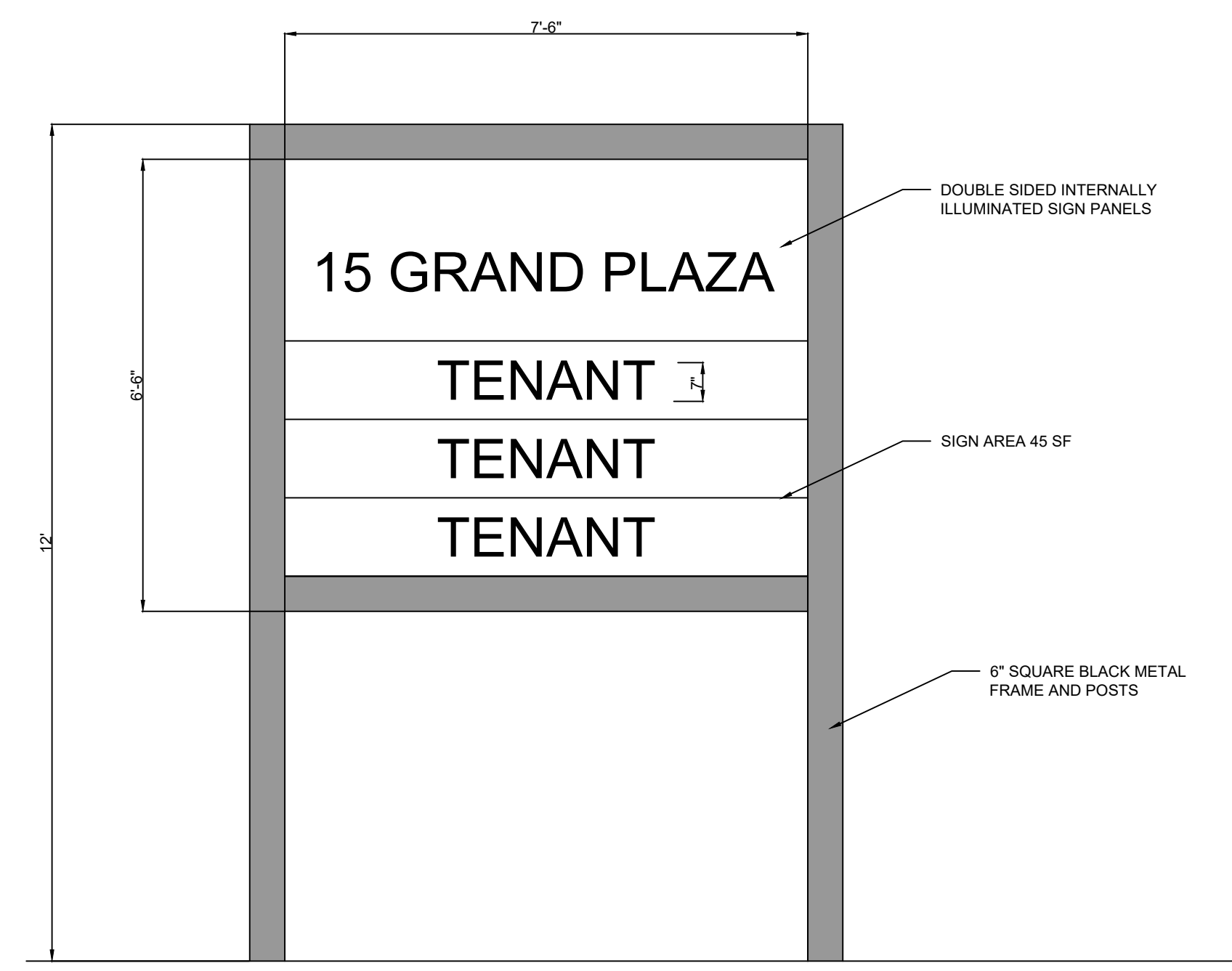
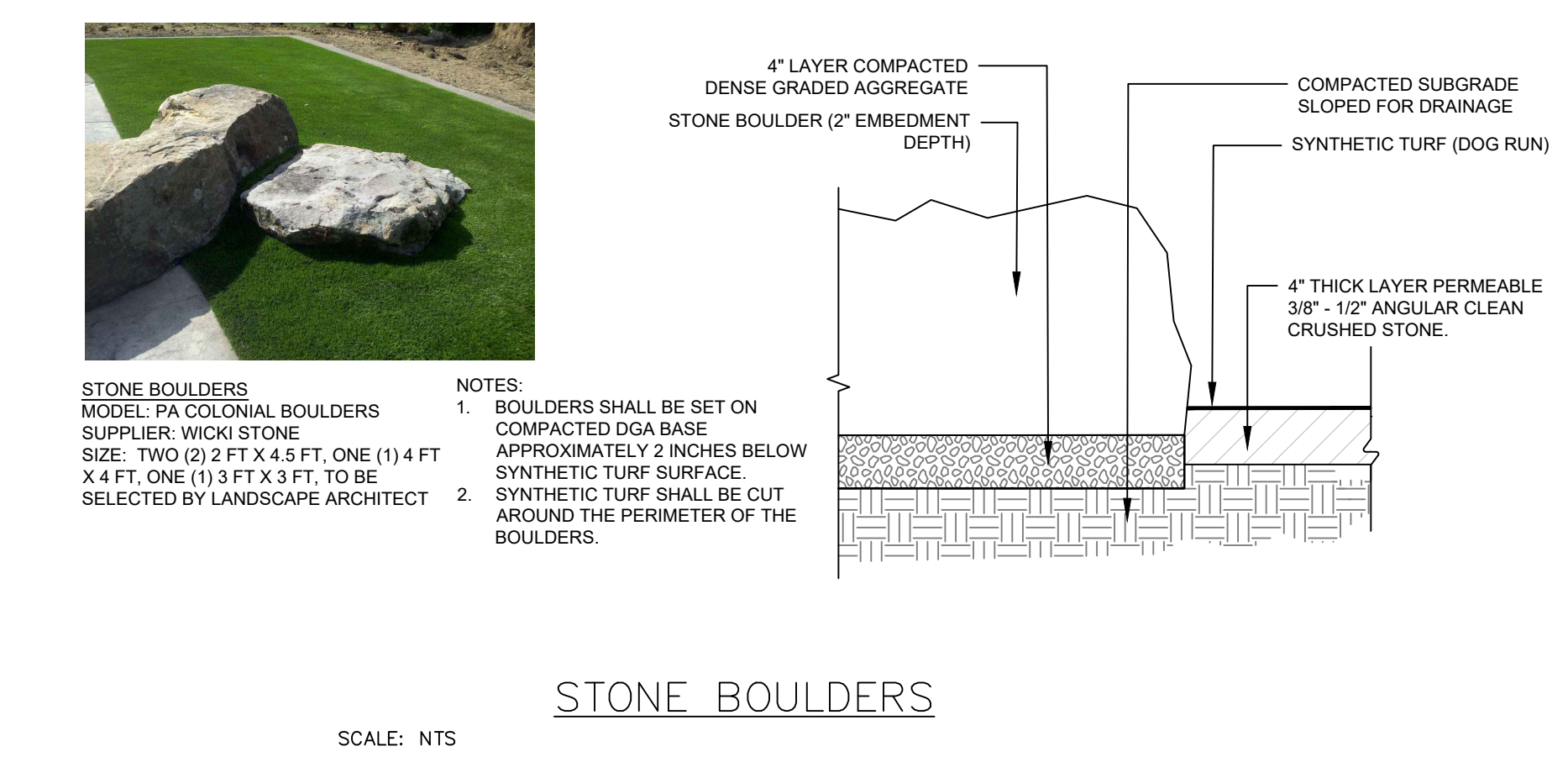
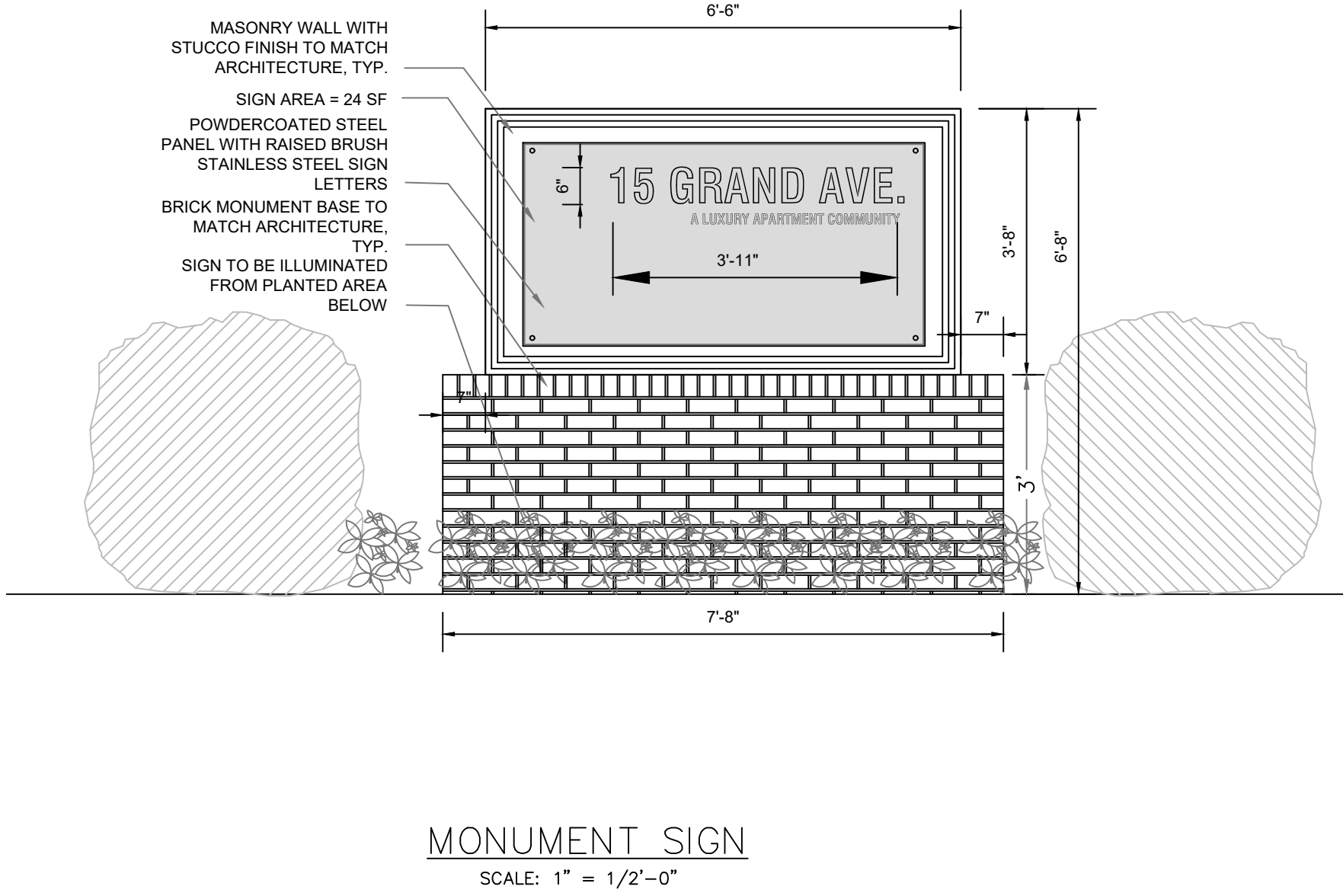
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FENCE AND GATE AT DOG RUN
SCALE: 1" = 1'-0"



MONUMENT SIGN
SCALE: 1" = 1/2'-0"



United Water
 FIRE HYDRANT INSTALLATION DETAIL
 DESIGNED BY: DATE: OCT. 1998
 DRAWN BY: DLS REVISIONS: 10/02, 5/05, 10/06
 CHECKED BY: SCALE: NONE DWG. NO. 5

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION
SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES

PROJ: 081197-01-001
 DATE: 11/15/2021
 CHD:
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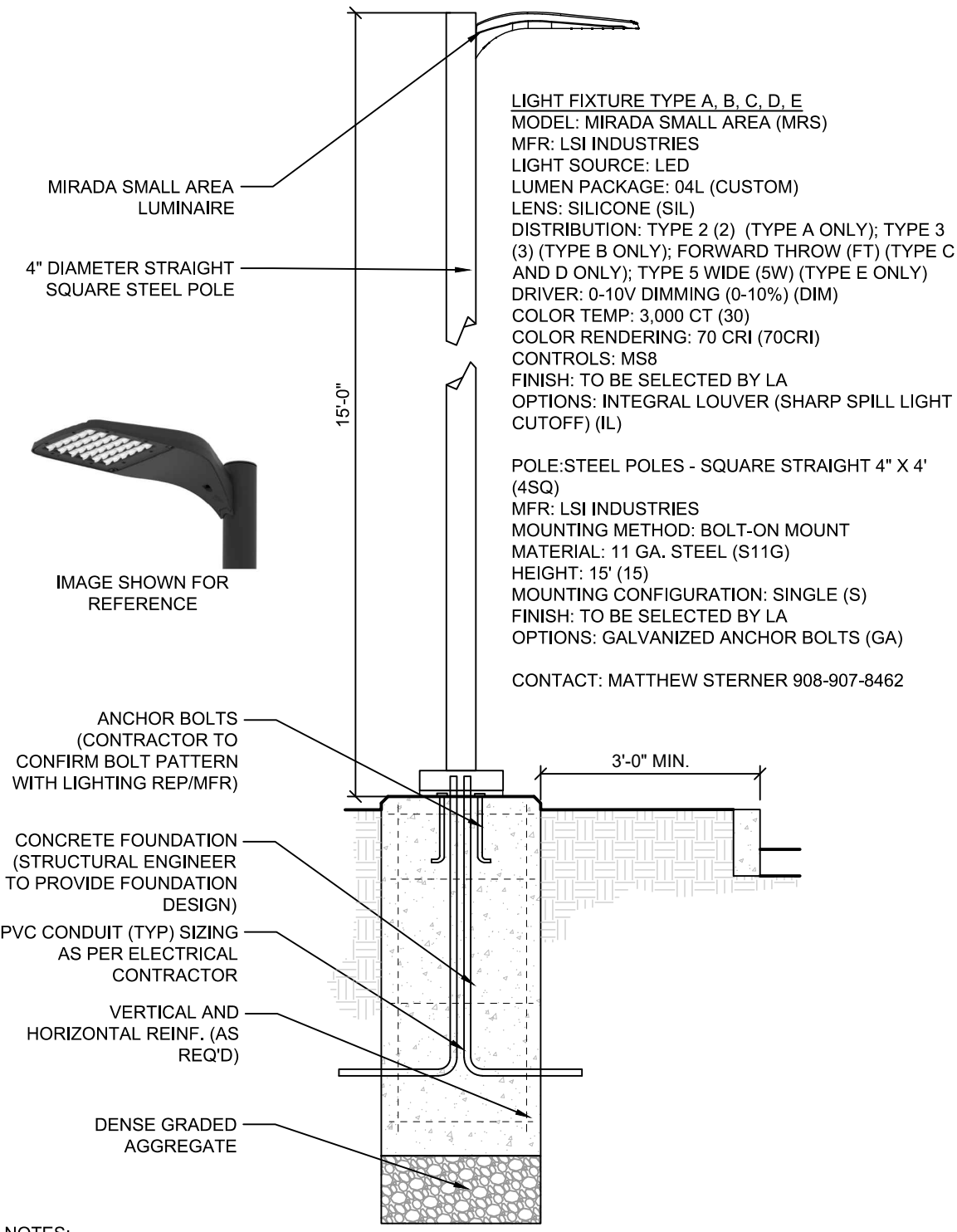
Bowman
 Bowman Consulting Group Ltd
 54 Horseshill Road, Suite 100
 New Jersey 07167
 bowman.com
 E-mail: NJ@Bowman.com
 Phone: 875-358-8400
 NJ Certificate of Authorization No. 24A29222600
 ERIC L. KELLER, N.J. Professional Engineer, Lic. 24GE03205400

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
15 GRAND AVENUE
DETAILS 3
 BLOCK 505, LOTS 3 & 4
 BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY

SHEET No.
13
 OF
14

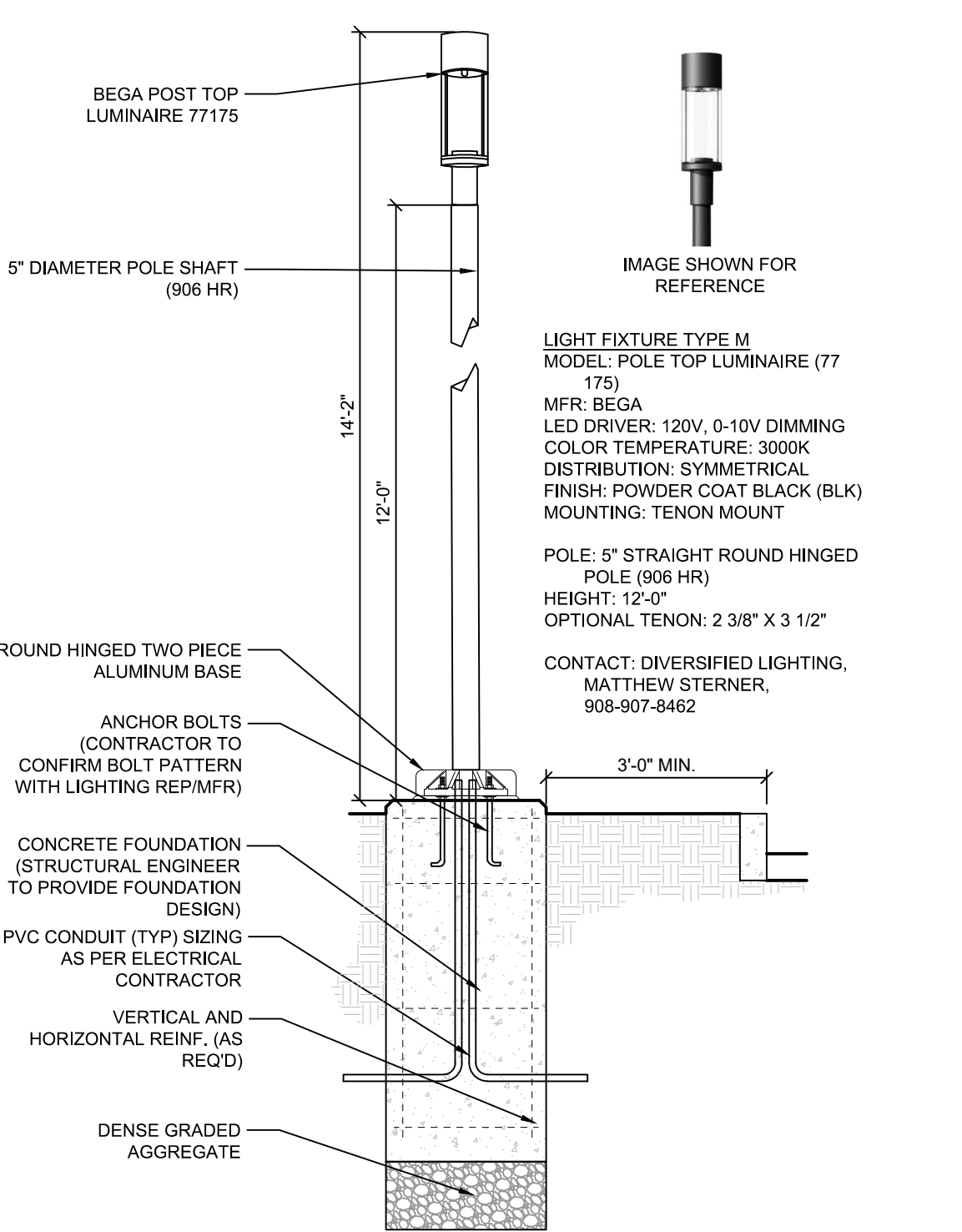
GENERAL LANDSCAPE NOTES

- PLANTING: 1. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.



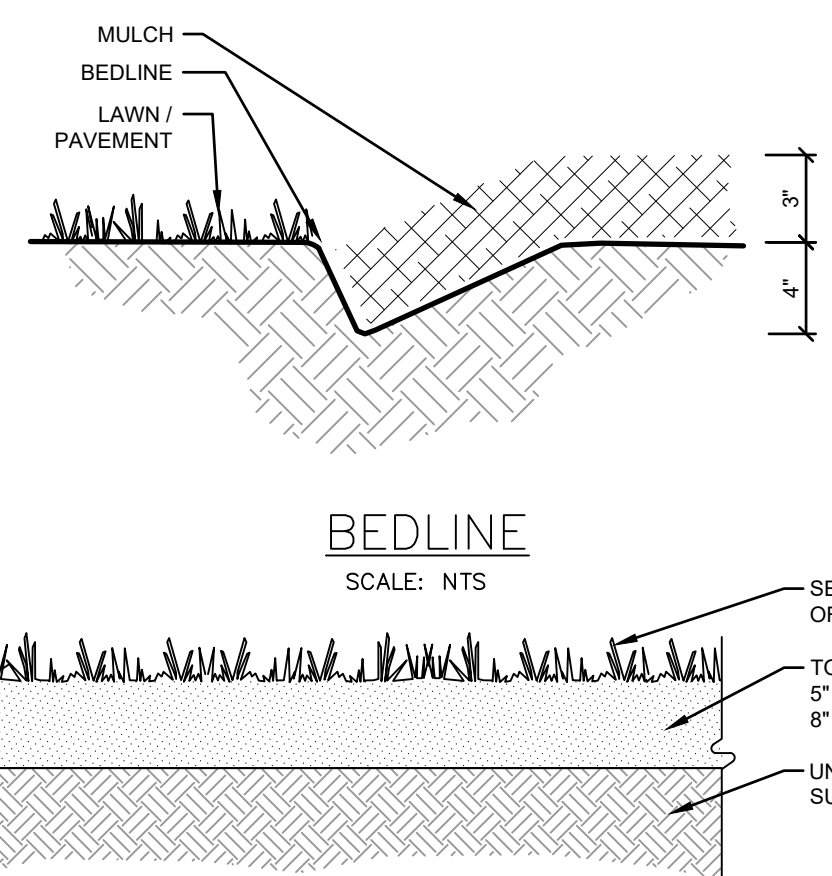
- NOTES: 1. FIXTURE TO BE WIRED BY PROJECT ELECTRICAL CONTRACTOR. 2. ALL ELECTRICAL WIRING AND COMPONENTS TO COMPLY WITH N.E.C. AND ALL OTHER APPLICABLE CODES.

LIGHT FIXTURE TYPE A, B, C, D, & E SCALE: 1/2" = 1'-0"

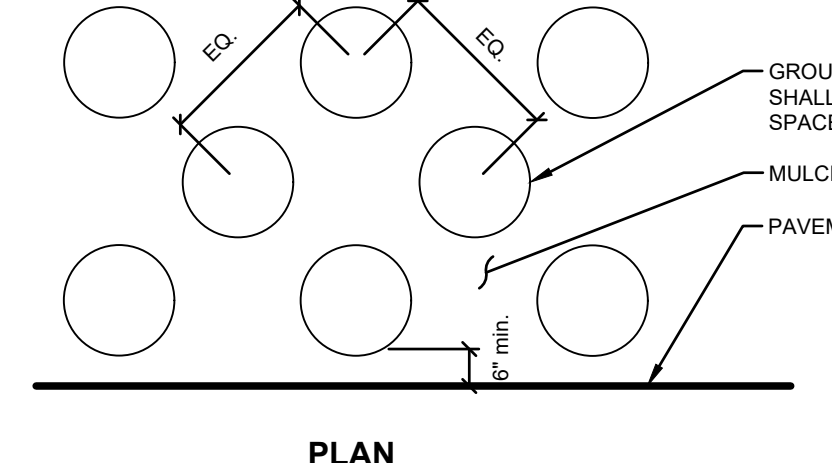


- NOTES: 1. FIXTURE TO BE WIRED BY PROJECT ELECTRICAL CONTRACTOR. 2. ALL ELECTRICAL WIRING AND COMPONENTS TO COMPLY WITH N.E.C. AND ALL OTHER APPLICABLE CODES.

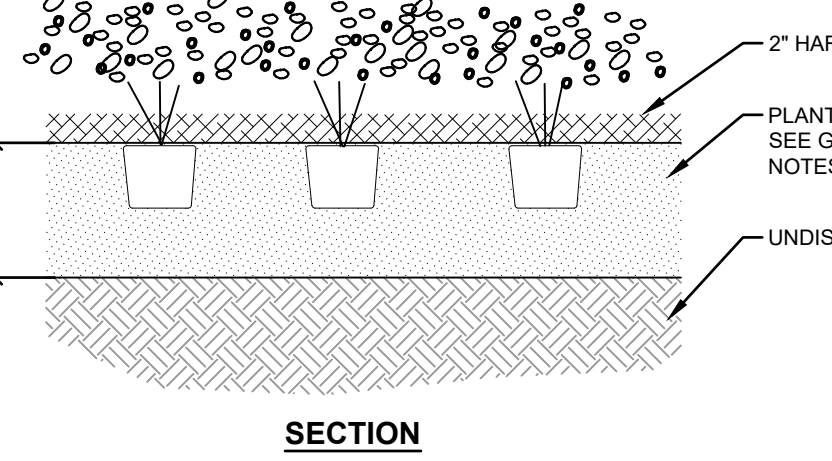
LIGHT FIXTURE TYPE M SCALE: 1/2" = 1'-0"



LAWN SCALE: NTS

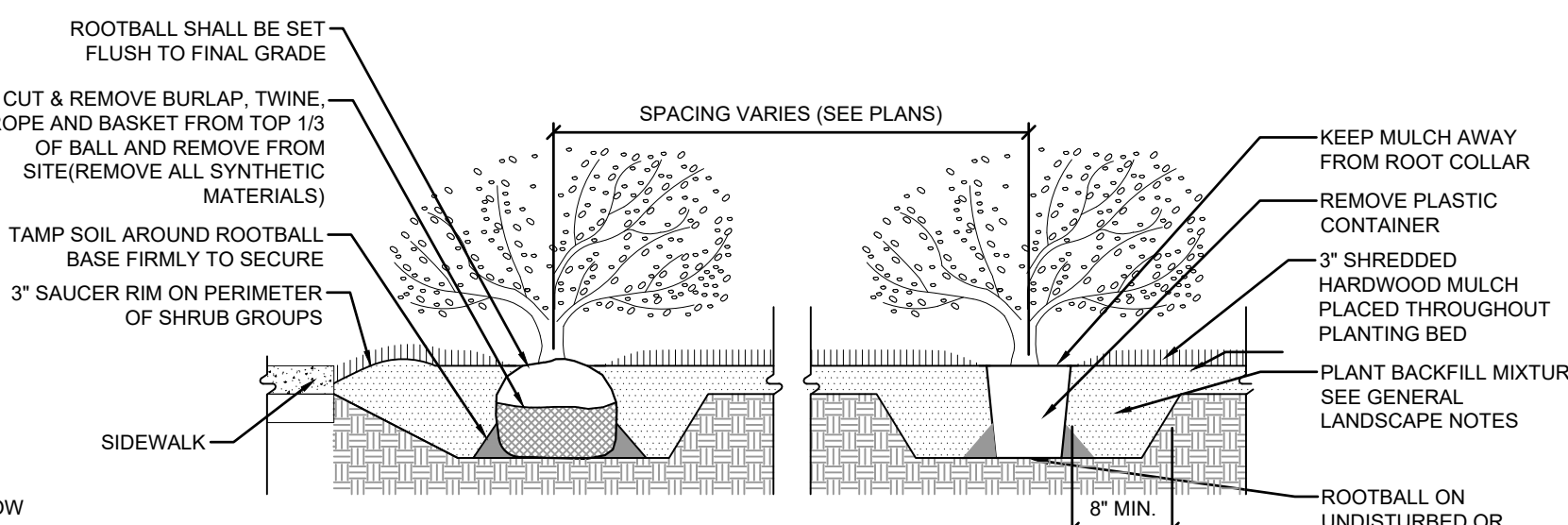


PLAN SCALE: NTS

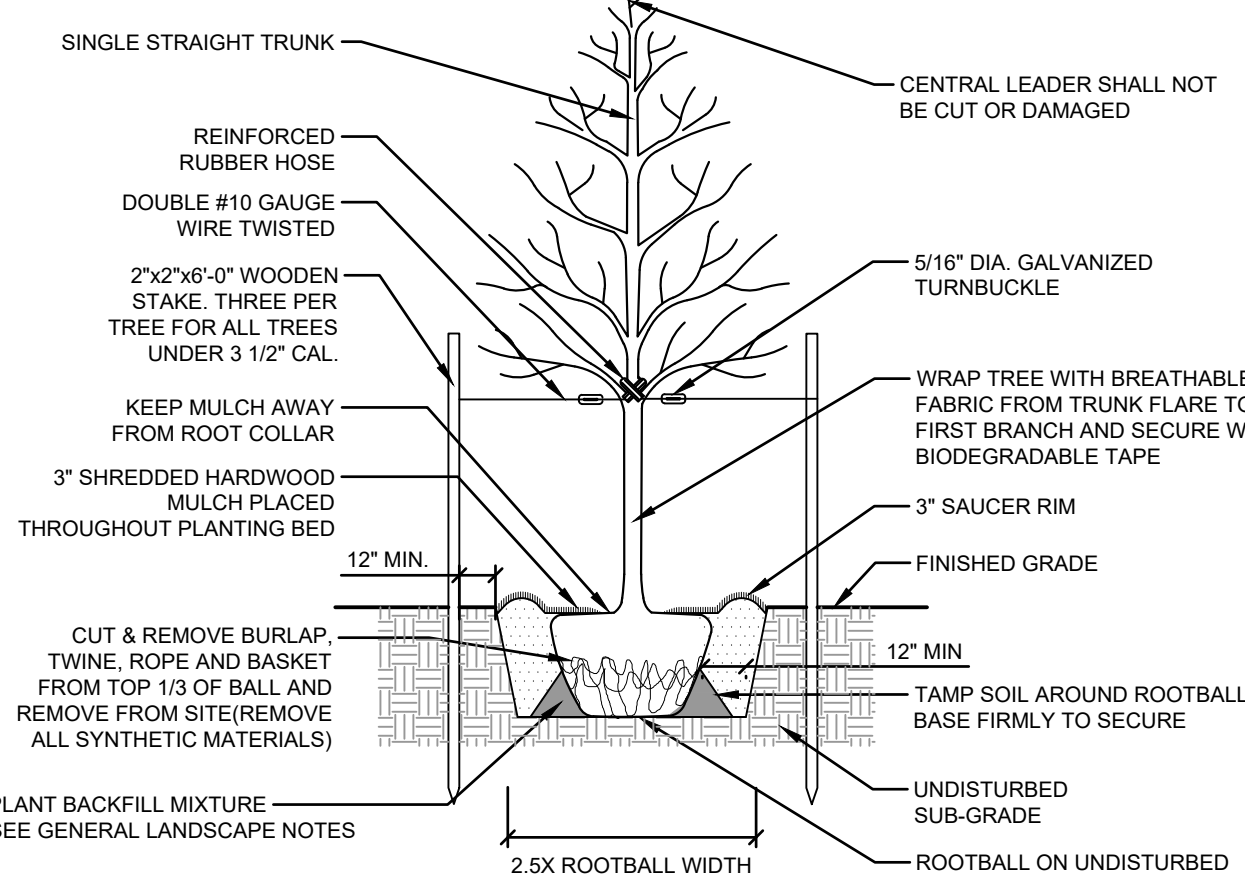


SECTION SCALE: NTS

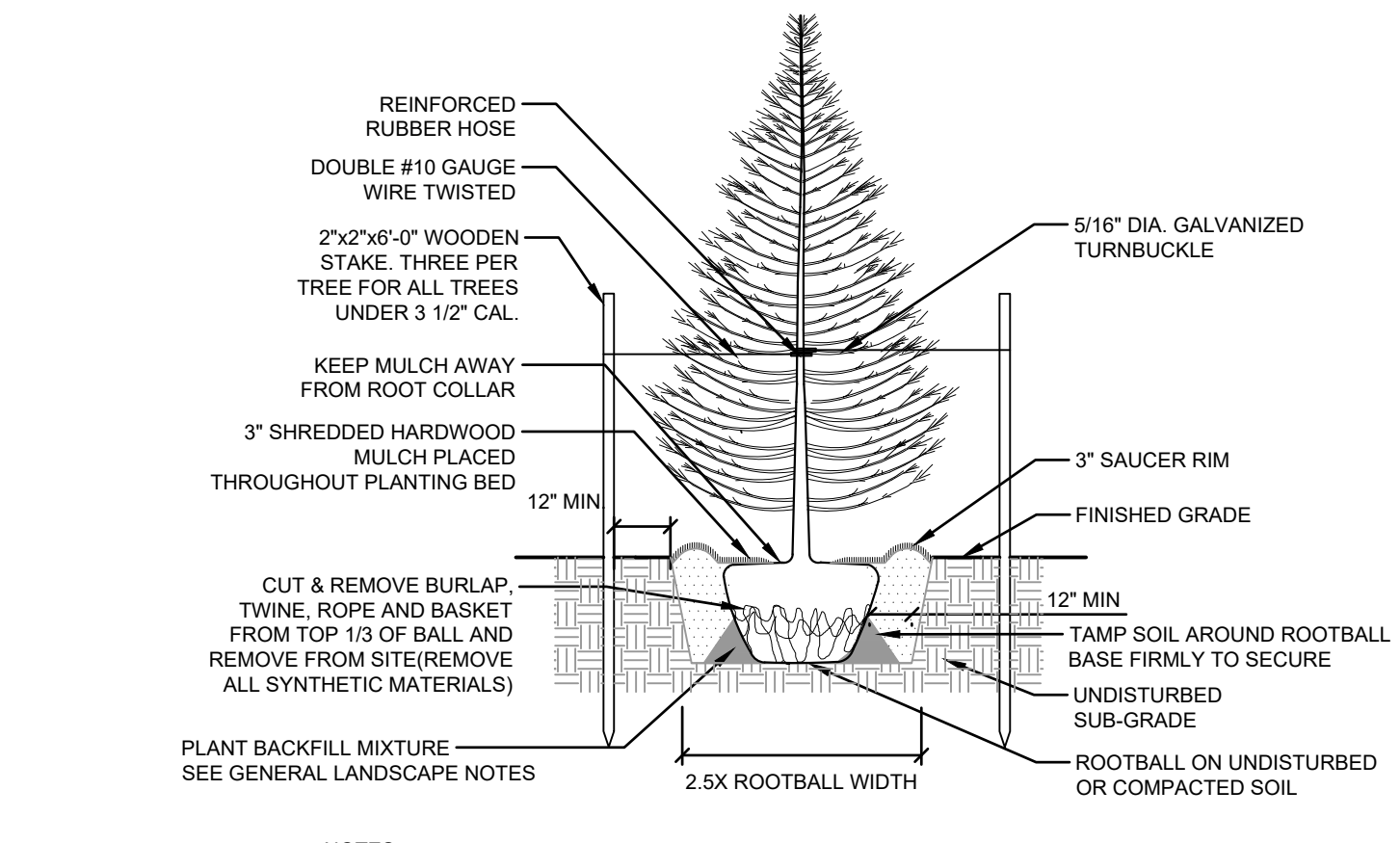
PERENNIAL/GROUNDCOVER PLANTING SCALE: NTS



SHRUB PLANTING SCALE: NTS



DECIDUOUS TREE PLANTING SCALE: NTS



EVERGREEN TREE PLANTING SCALE: NTS



LIGHT FIXTURE TYPE K, L SCALE: NTS

LIGHT FIXTURE TYPE K, L MFR: LITHONIA LIGHTING MODEL: WST LED ARCHITECTURAL WALL SCONCE PH: 800-279-8041 www.lithonia.com

Table with columns for Date, Revision, and Description. Includes project name and date.

Bowman logo and contact information for Eric L. Keller, N.J. Professional Engineer, Lic. 24C03205400.

Bowman Consulting Group Ltd. logo and contact information for Eric L. Keller, N.J. Professional Engineer, Lic. 24C03205400.

Site information: 15 GRAND AVENUE, BLOCK 505, LOTS 3 & 4, BOROUGH OF PALISADES PARK, BERGEN COUNTY, NEW JERSEY. SHEET 14 OF 14.

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION. SEE SHEET 2 OF THIS SET FOR GENERAL NOTES AND REFERENCES.