

SCHEDULE II
SCHEDULE OF AREA, BULK AND YARD REQUIREMENTS
BOROUGH OF PALISADES PARK, NEW JERSEY

ITEM	REQUIRED	EXISTING	PROPOSED	STATUS
DISTRICT	AA ONE & TWO-FAMILY DWELLING	AA 1-FAMILY DETACHED DWLG.	AA 2-FAMILY DWELLING	CONFORMS
MINIMUM LOT AREA (SQ. FT.)	5,000	4,240 **	4,240 **	PRE EXIST.
MINIMUM LOT FRONTAGE (FT.)	50	40.00	40.00	PRE EXIST.
MINIMUM FRONT YARD (FT.)	NOTE 1 (27.18)	29.70	24.00 *	VARIANCE
MINIMUM SIDE YARD (FT.) - ONE SIDE	5	4.83 **	4.00 **	VARIANCE
MINIMUM SIDE YARD (FT.) - BOTH SIDES	14	13.64 **	8.00 **	VARIANCE
MINIMUM REAR YARD (FT.)	25	34.57	25.00	CONFORMS
MAXIMUM BUILDING HEIGHT - STORIES	2 1/2 STORIES	2 1/2 STORIES	2 1/2 STORIES	CONFORMS
MAXIMUM BUILDING HEIGHT - FEET	25 FEET	N/A	28.77 FEET *	VARIANCE
MAXIMUM COVERAGE (%)	40%	22.26%	43.86% *	VARIANCE
MAXIMUM REAR YARD COVERAGE (%)	60%	36.40%	13.55%	CONFORMS
DENSITY (UNITS PER ACRE)	--	1 UNIT	2 UNITS	---

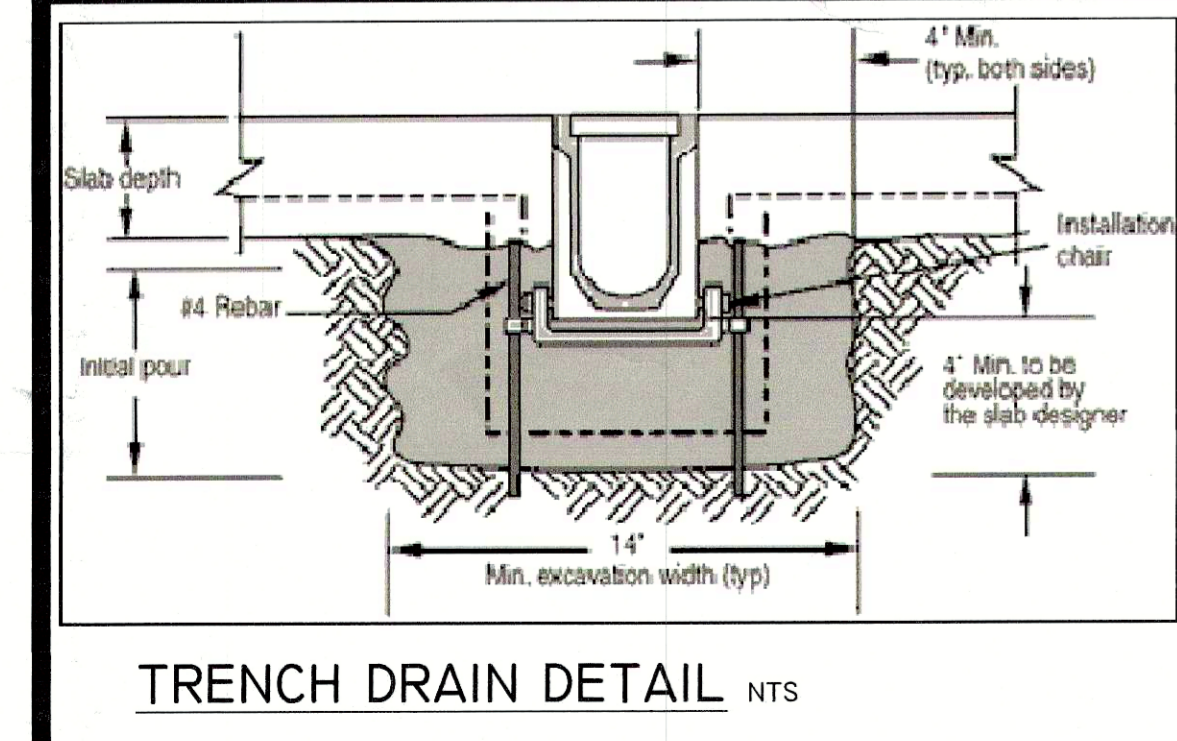
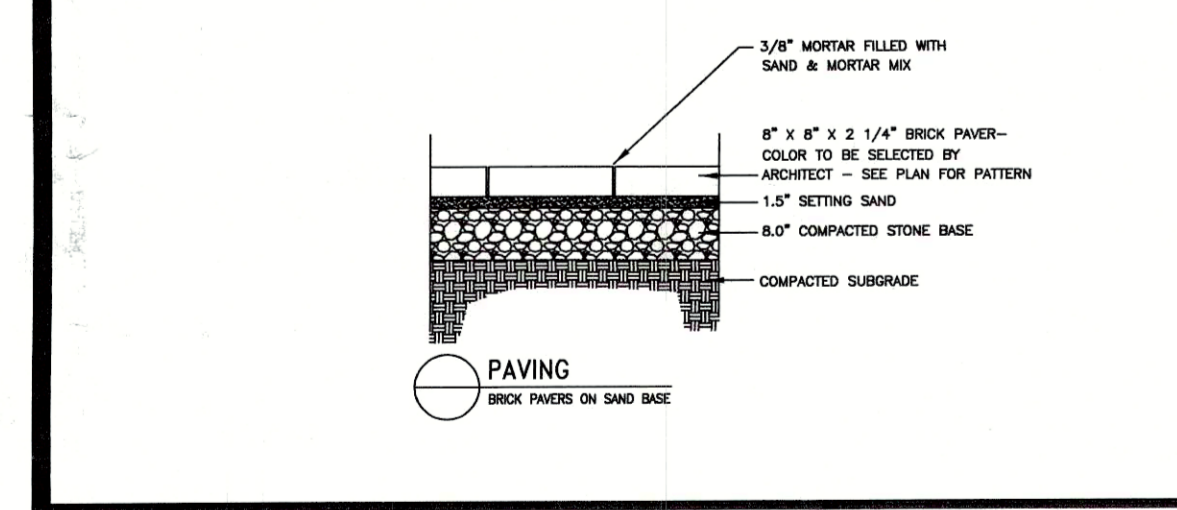
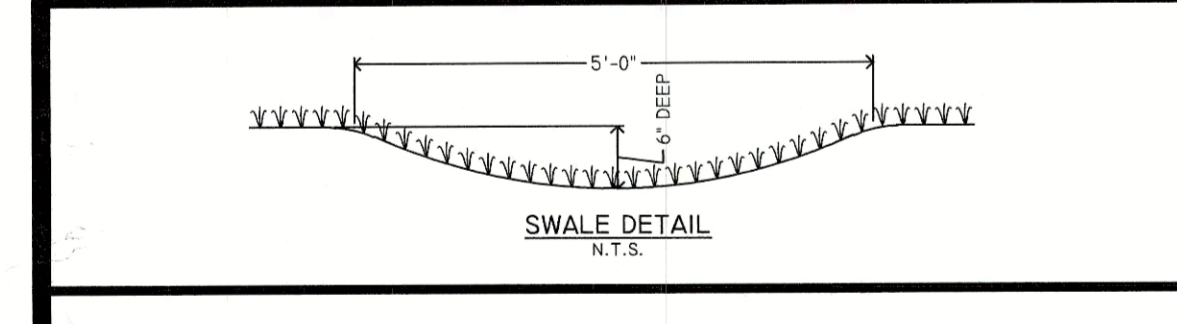
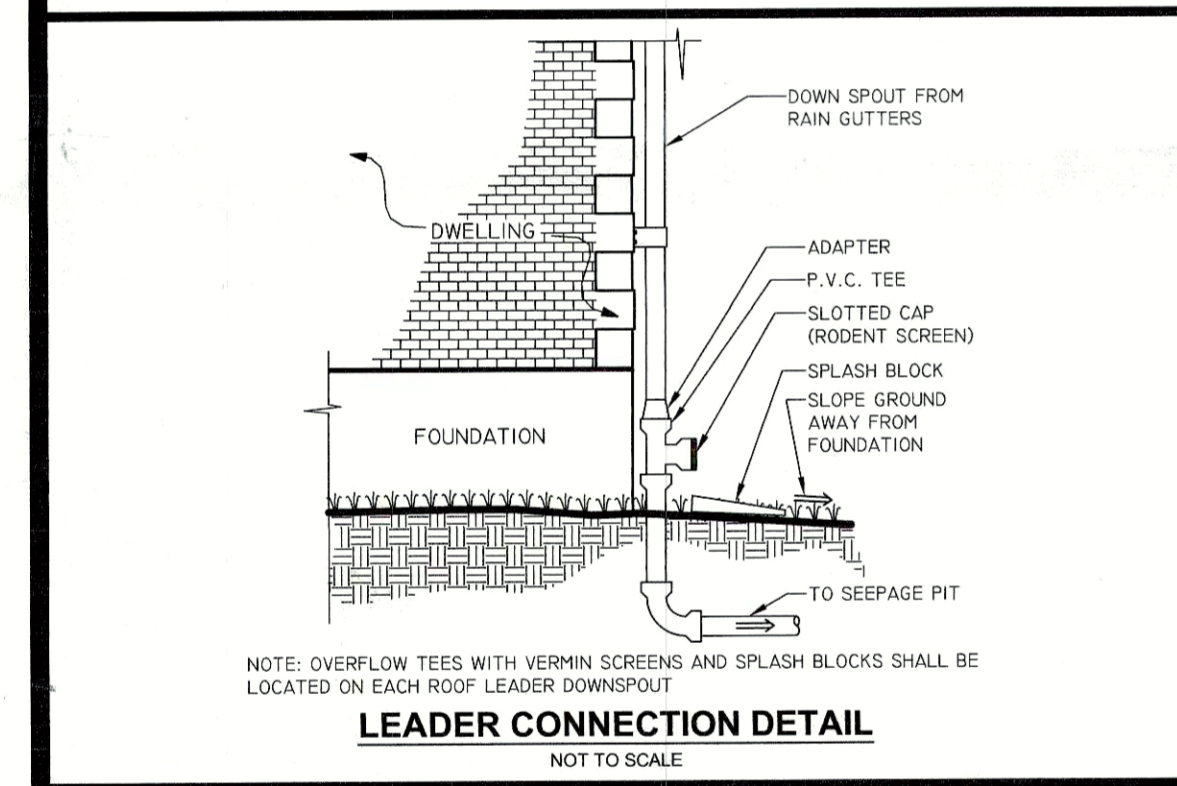
NOTES:
* = VARIANCE REQUESTED
** = PRE EXISTING CONDITION

NOTES:
NOTE 1: THE SETBACK SHALL BE THE AVERAGE OF THE EXISTING SETBACK OF RESIDENCES ON THE SAME SIDE OF THE STREET WITHIN THE SAME BLOCK, EXCEPT THAT THE SETBACK IN NO CASE NEED EXCEED 35 FEET NOR SHALL BE LESS THAN 20 FEET.

BUILDING HEIGHT CALCULATIONS
GRADE PLANE CALCULATION:
NORTH = (73.75 + 75.00) / 2 = 74.375
EAST = (75.00 + 74.00) / 2 = 74.50
WEST = (73.75 + 72.50) / 2 = 73.125
SOUTH = (72.50 + 74.00) / 2 = 73.25
AVERAGE GRADE PLANE ELEVATION= 73.8125
GRADE PLANE ELEVATION = 73.81
GF = 72.50
BUILDING HEIGHT PER ARCHITECT = 30'-1" (30.08) (FF. TO R.P. MIDPOINT)
ROOF PEAK ELEVATION = 72.50 + 30.08 = 102.58
BUILDING HEIGHT = 102.58 - 73.81 = 28.77 FEET
ALLOWED BUILDING HEIGHT = 25 FEET - PROPOSED BUILDING HEIGHT = 28.77 FEET < 25 FEET VARIANCE

AVERAGE FRONT YARD SETBACK CALCS.

STREET NAME	STREET #	TAX LOT #	BLOCK	SETBACK (FT.)
BRINKERHOFF TERR.	44	1	214	33.98
BRINKERHOFF TERR.	40	2	214	24.00
BRINKERHOFF TERR.	36	3	214	29.20
BRINKERHOFF TERR.	28	5	214	24.74
BRINKERHOFF TERR.	24	6	214	25.10
BRINKERHOFF TERR.	22	7	214	25.10
BRINKERHOFF TERR.	20	8	214	30
BRINKERHOFF TERR.	16	9	214	25.30
BRINKERHOFF TERR.	12	10.01	214	24.60
AVERAGE SETBACK				27.18



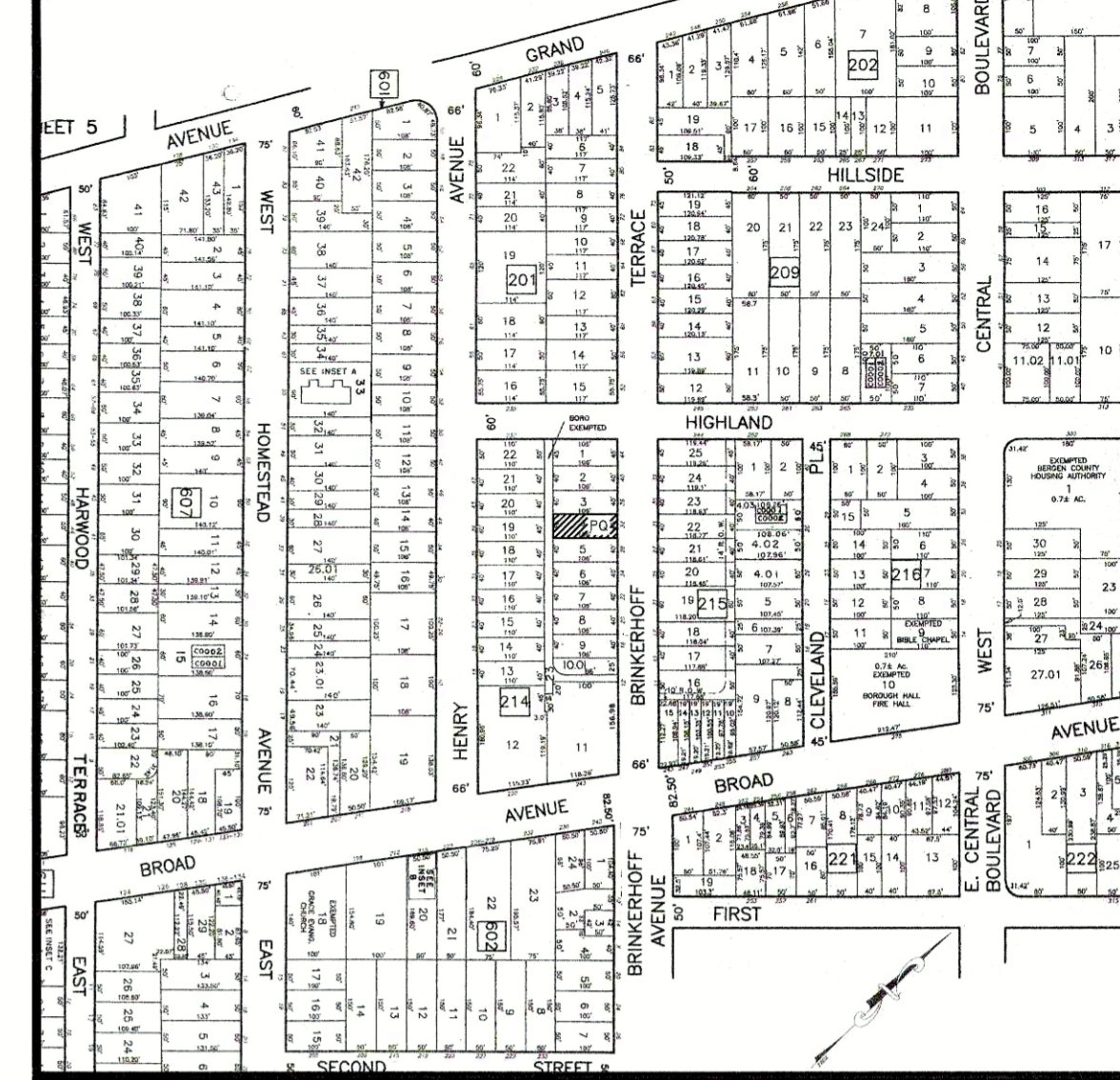
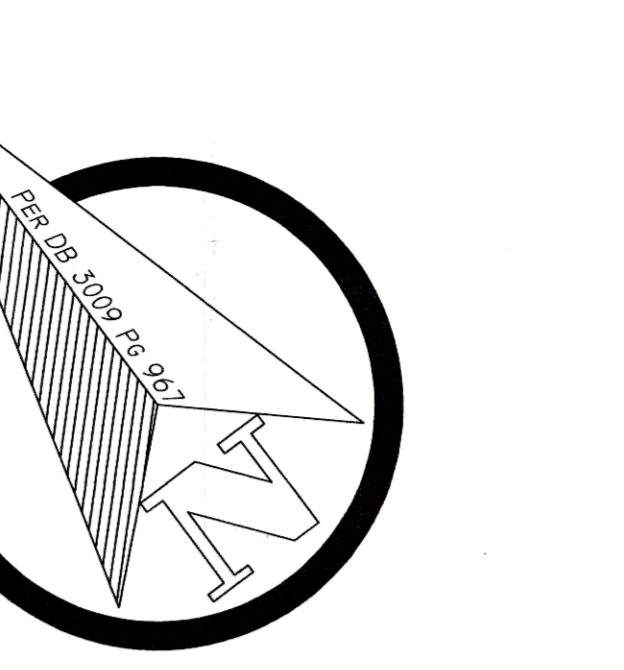
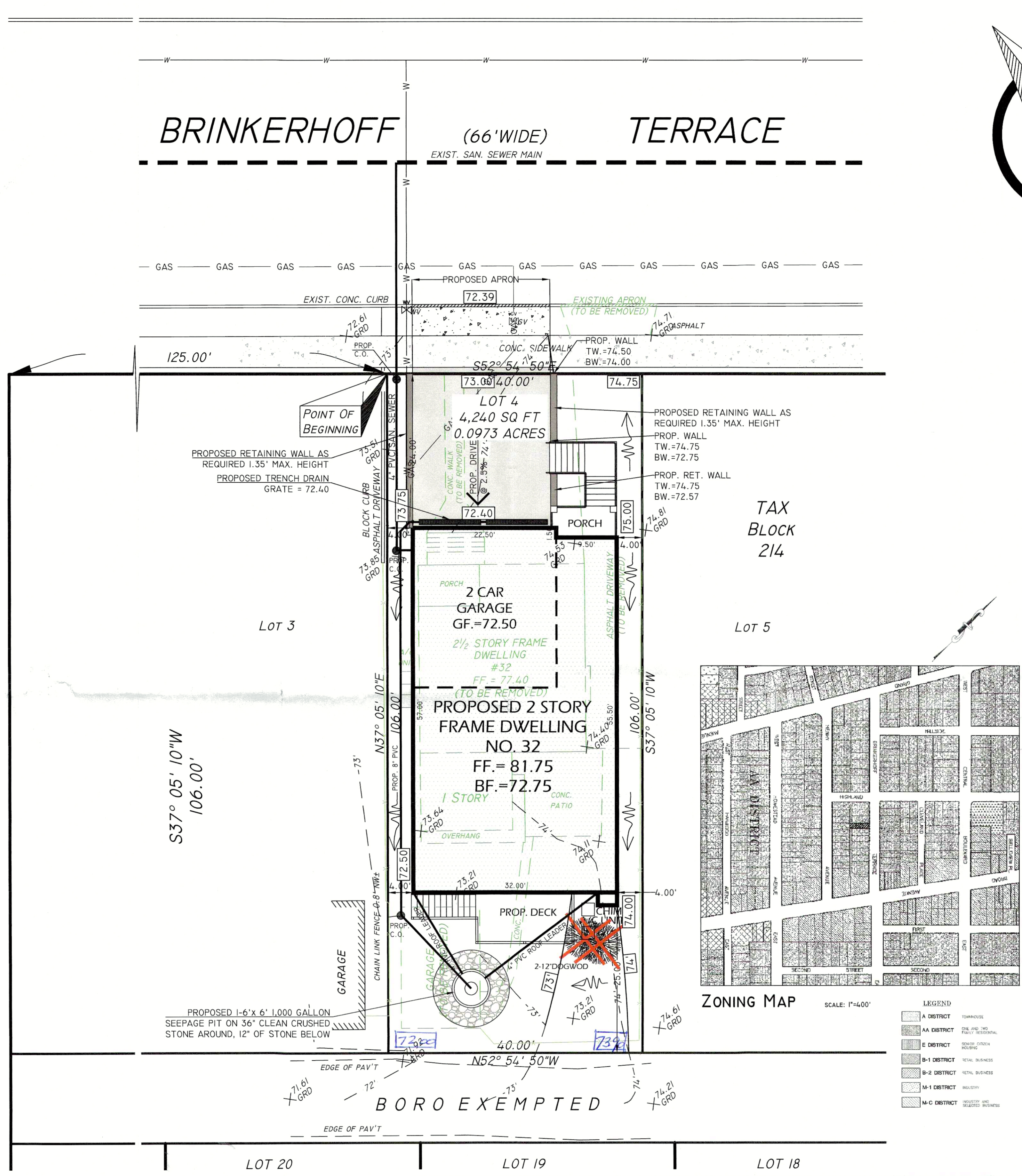
IMPERVIOUS COVERAGE CALCS.

DWELLING AREA	= 1,810 SF
COVERED PORCH	= 50 SF
FRONT WALK & STEPS	= 78 SF
BITUMINOUS DRIVEWAY	= 519 SF
DECK & STEPS	= 166 SF
A/C PADS	= 14 SF
TOTAL	= 2,637 SF

CALCS:
(2,637 SF / 4,240) x 100% = 62.19%

BRINKERHOFF TERRACE (66' WIDE)

HIGHLAND AVENUE (60' WIDE)



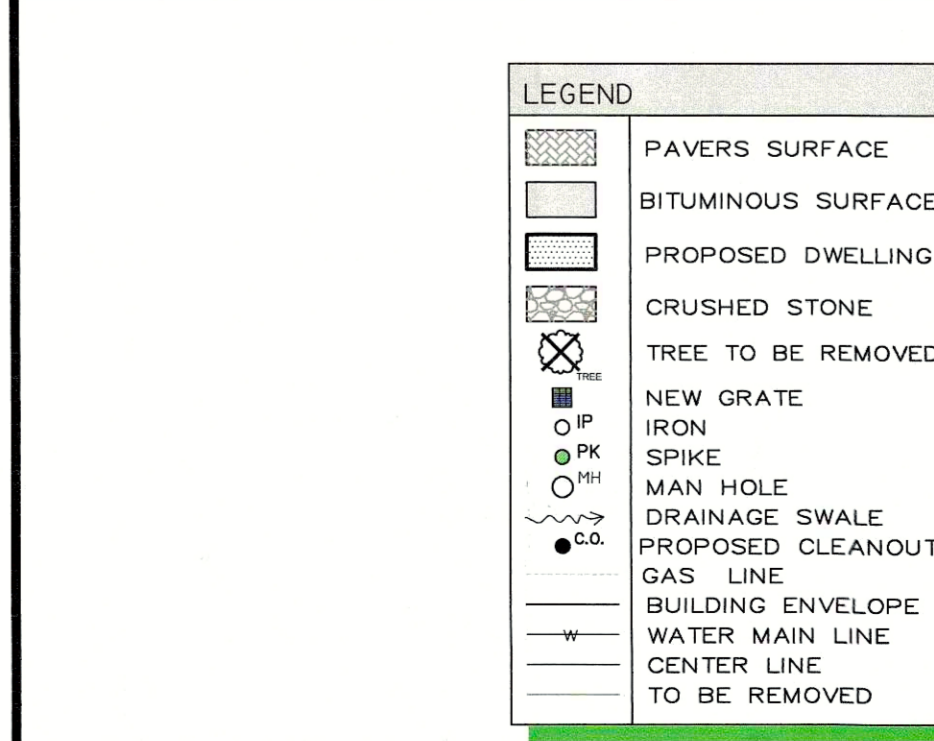
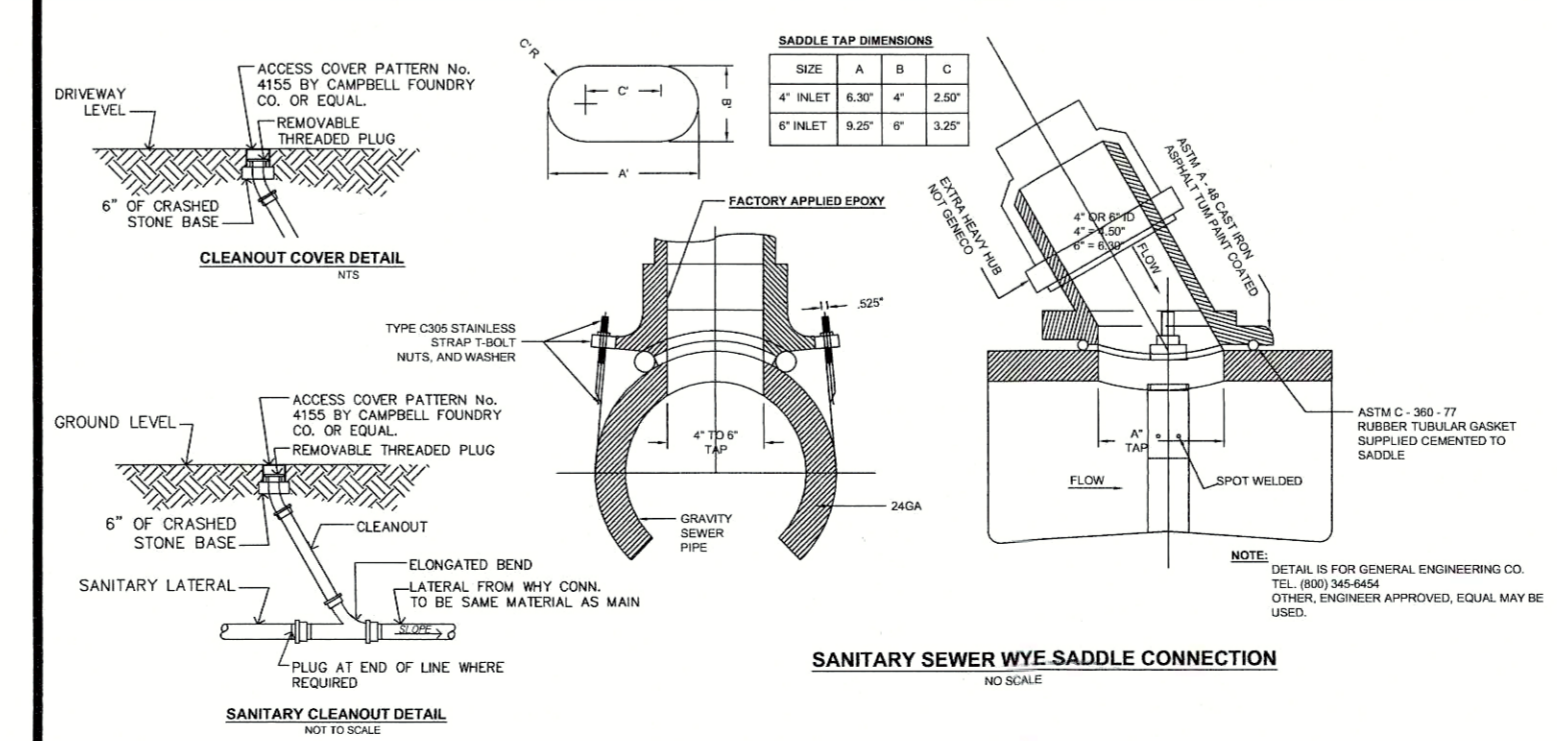
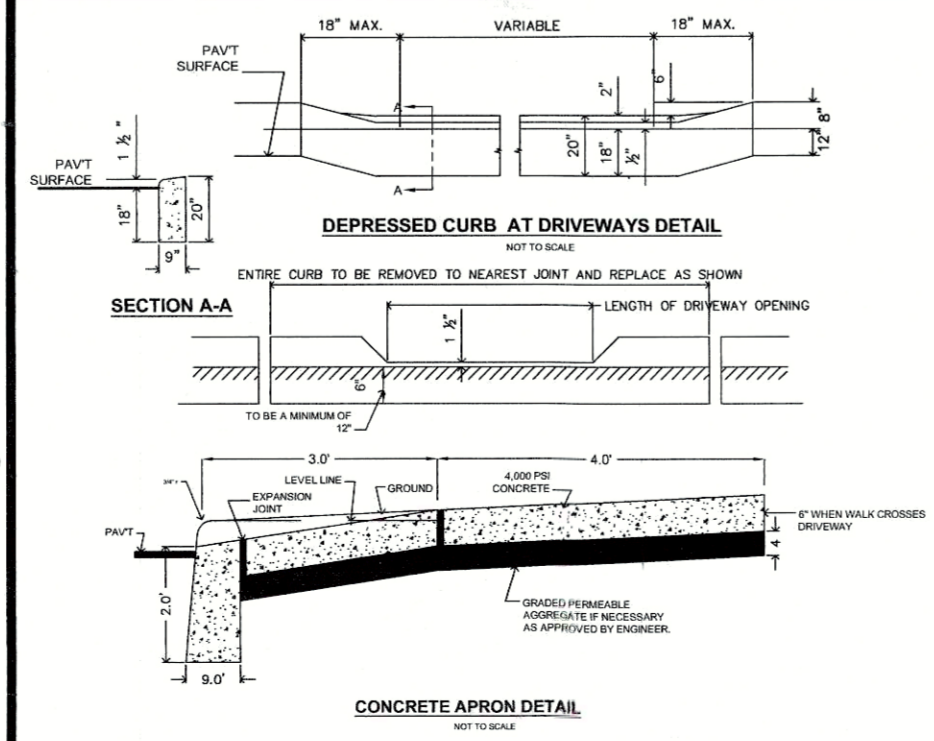
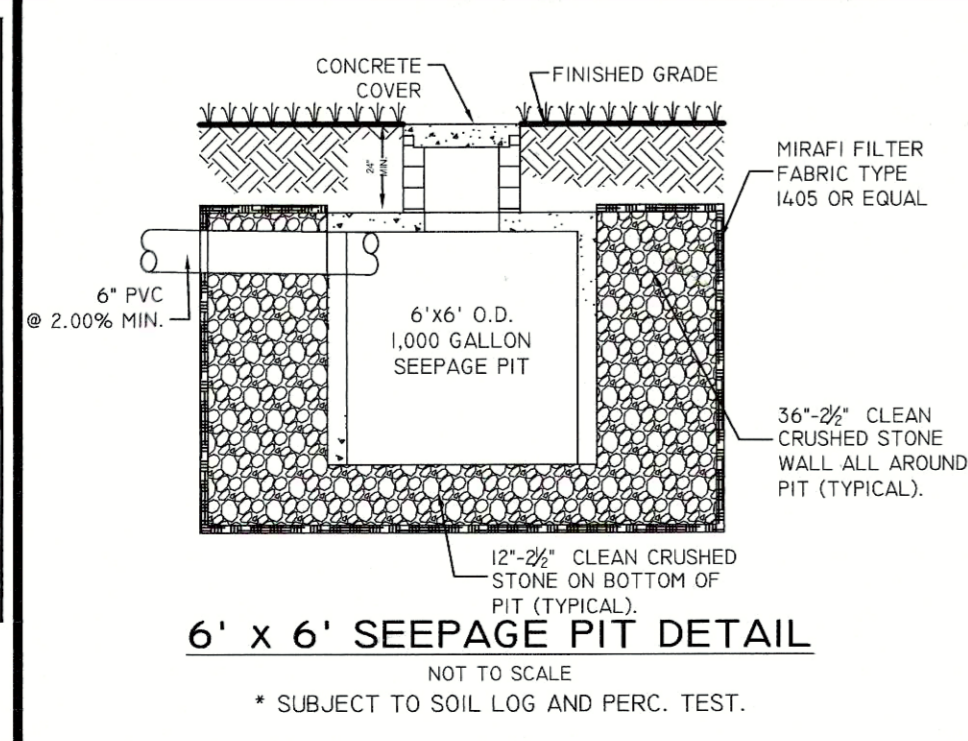
- GENERAL NOTES**
- DATUM IS NGVD 1929.
 - LOCATION OF UTILITIES ARE APPROXIMATE ONLY. MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.
 - AREA OF P.O. = 4,240 SQ. FT. = 0.0973 ACRES.
 - COMMONLY KNOWN AS 32 BRINKERHOFF TERRACE, PALISADES PARK, NEW JERSEY.
 - BEING KNOWN AS LOT 4 IN BLOCK 214 AS SHOWN ON CURRENT TAX MAP OF THE BOROUGH OF PALISADES PARK, COUNTY OF BERGEN AND STATE OF NEW JERSEY.
 - BEING ALSO KNOWN AS LOTS 41 & 42 IN BLOCK 28 AS SHOWN ON A CERTAIN MAP ENTITLED "MAP NO. 2 OF THE PROPERTY OF THE STEENLAND CONSTRUCTION COMPANY BOROUGH OF PALISADES PARK, BERGEN COUNTY, N.J.", FILED IN THE BERGEN COUNTY CLERK'S OFFICE ON JUNE 26, 1924 AS MAP NO. 1915.
 - REFERENCE: DEED BOOK 3009 PAGE 967.
 - PROPERTY IS LOCATED IN "AA" ONE AND TWO FAMILY ZONE DISTRICT (RESIDENTIAL ZONE).
 - BASED ON A TOPOGRAPHIC SURVEY PREPARED BY BUTLER SURVEYING & MAPPING, INC. PROFESSIONAL ENGINEERING AND SURVEYING SERVICES, 78 VREELAND AVENUE, MIDLAND PARK, NJ 07432. DATED FEBRUARY 11, 2019.
 - THE INSTALLATION OF THE SEEPAGE PITS SYSTEM MUST BE INSPECTED BY THE BOROUGH ENGINEER.
 - A SOIL LOG AND PERCOLATION TEST SHOULD BE CONDUCTED AT THE LOCATION OF THE PROPOSED SEEPAGE PITS SYSTEM. THIS SHALL BE PERFORMED IN THE EXACT LOCATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITY TO DETERMINE THE SURROUNDING SOIL'S ABILITY TO ABSORB THIS ADDITIONAL RUNOFF AND THE DEPTH TO GROUNDWATER BEDROCK.
 - THE APPLICANT SHALL CONTACT THE BOROUGH ENGINEER'S OFFICE AT LEAST 48 HOURS PRIOR TO THE INSTALLATION OF THE SEEPAGE PITS AND DRIVEWAY SUB-BASE WHICH WILL BE UTILIZED FOR STORMWATER MANAGEMENT IN ORDER FOR THE BOROUGH ENGINEER'S OFFICE TO SCHEDULE THE INSPECTION OF SAME. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNLESS THE BOROUGH ENGINEER'S OFFICE HAS INSPECTED AND ACCEPTED THE DRAINAGE SYSTEM.
 - OWNER RESPONSIBLE FOR THE INSPECTION & MAINTENANCE OF THE PROPOSED SEEPAGE PITS SYSTEM AS FOLLOWS:
IT IS IMPERATIVE THAT THE PIPE SYSTEM REMAIN CLEAR, TO ALLOW FOR THE DISCHARGE INTO THE DRYWELL. ANY OBSERVED CLOGGING OR UNUSUAL OVERFLOW SHOULD BE IMMEDIATELY INVESTIGATED AND ADDRESSED. IT IS RECOMMENDED THAT ANNUALLY AND/OR EVERY FALL A THOROUGH INVESTIGATION AND CLEANING OF THE SYSTEM IS CONDUCTED. THIS SHALL INCLUDE THE INITIAL REMOVAL OF ANY OBVIOUS DEBRIS AND BUILD-UP, THEN THE CLEANING OF THE GUTTERS & LEADERS, FOLLOWED BY THE P.V.C. ROOF DRAIN LEADING TO THE SEEPAGE PITS SYSTEM. AFTER A FREE FLOWING CLEAN OF ALL THE RANS, THE SEEPAGE PITS SYSTEM SHALL BE INSPECTED AND ANY DEBRIS REMOVED. THE SYSTEM SHALL BE CLEANED OF LEAVES AND SILT USING A VACUUM TRUCK. PREVENTATIVE AND CORRECTIVE MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPAIRS OR REPLACEMENTS TO THE STRUCTURE; REMOVAL OF SEDIMENT, DEBRIS, OR TRASH; RESTORATION OF ERODED AREAS. THIS WILL HELP ALLEVIATE BLOCKAGES AND/OR SEDIMENTATION BUILDUP WITHIN THE STORAGE SYSTEM.
 - BASED ON ARCHITECTURAL PLANS PREPARED BY DBK DESIGN, LLC AND DATED NOVEMBER 14, 2019.
 - SEE ARCHITECTURAL PLANS FOR FLOOR AREA RATIO CALCULATIONS.
 - SUBJECT TO FINALIZED ARCHITECTURAL PLANS.
 - PROPOSED BUILDING HEIGHT BASED ON ZONING CODE DEFINITION & ARCHITECT'S DESIGN DIMENSIONS. CONTRACTOR, THEREFORE, IS RESPONSIBLE FOR VERIFYING TOP OF BLOCK ELEVATION & ACTUAL DIMENSIONS TO ROOF PEAK UPON COMPLETION OF FRAMING.
 - EXISTING UTILITIES TO BE REUSED IF PRACTICAL. MUST BE INSPECTED PRIOR TO CONSTRUCTION.
 - EXISTING DRAINAGE PATTERNS TO BE MAINTAINED.
 - THE DEVELOPER MUST TAKE CAUTION WHEN COMPLETING THE FINAL GRADING OF THE PROPERTY SO AS NOT TO CAUSE INCREASE WATER RUNOFF ONTO THE ADJACENT PROPERTIES. IN THE EVENT A DRAINAGE PROBLEM PERSISTS, THE APPLICANT SHALL REMEDY THE MATTER AT HIS/HER OWN COST.

PROPERTY INFORMATION

STREET ADDRESS 32 BRINKERHOFF
OWNER NAME KIM, MATTHEW S & ANNA K
MAILING ADDRESS 32 BRINKERHOFF TERRACE
BLOCK 214 LOT 4
BOOK / PAGE 03199 / 01155

GRAPHIC SCALE
1" = 40.00'

811 ALWAYS CALL BEFORE YOU DIG



GRADING & DRAINAGE PLAN

OF LOT 4 IN BLOCK 214
ON THE TAX MAP OF THE
BOROUGH OF PALISADES PARK
BERGEN COUNTY, NEW JERSEY

SCALE: 1" = 10' DATE: 08/18/2020 Rev Nov 4, 2020

STEVEN L. KOESTNER
P.E. & L.S. N.J. LIC. # 27901 / N.Y. LIC. # 50865
KOESTNER ASSOCIATES
PROFESSIONAL ENGINEERS & LAND SURVEYORS
81 HUDSON STREET HACKENSACK, N.J. 07601

720-A

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