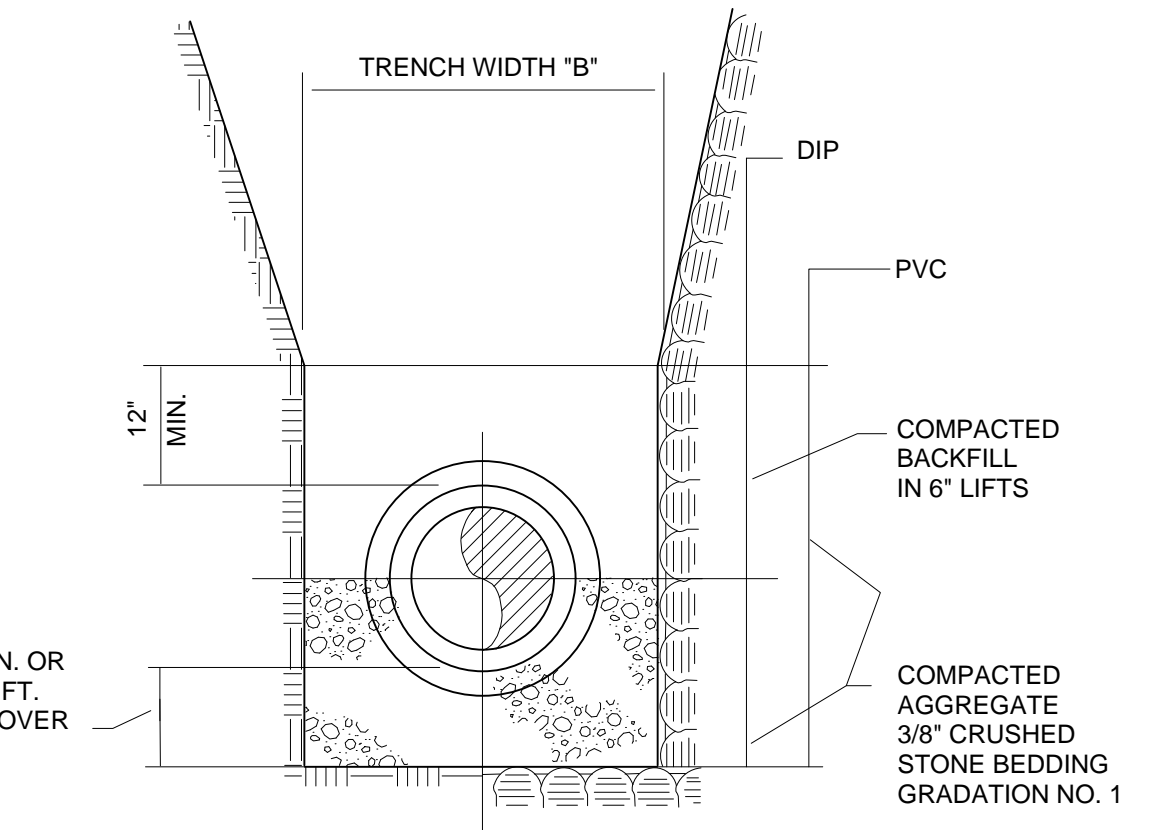
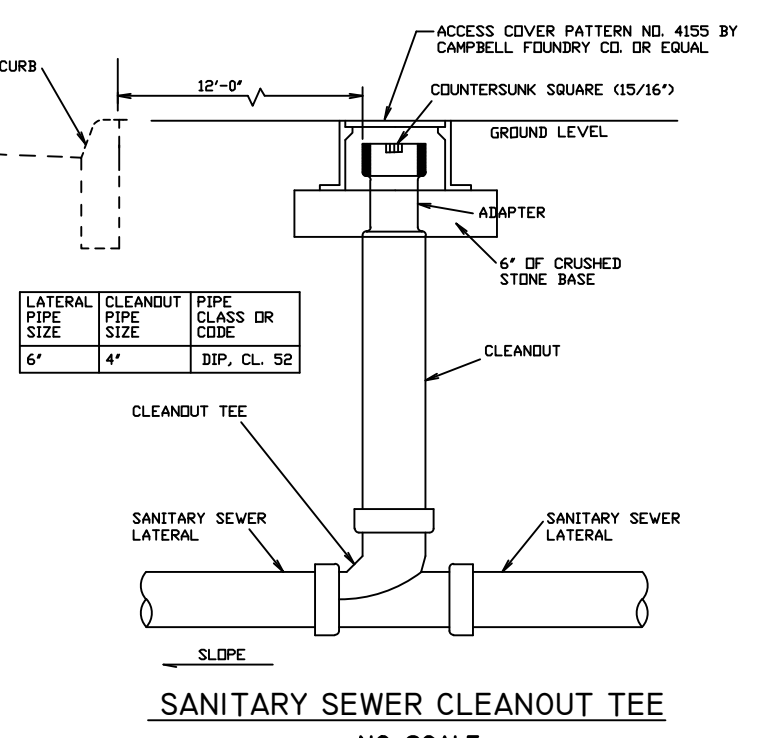


**SANITARY SEWER WYE SADDLE CONNECTION**  
NO SCALE

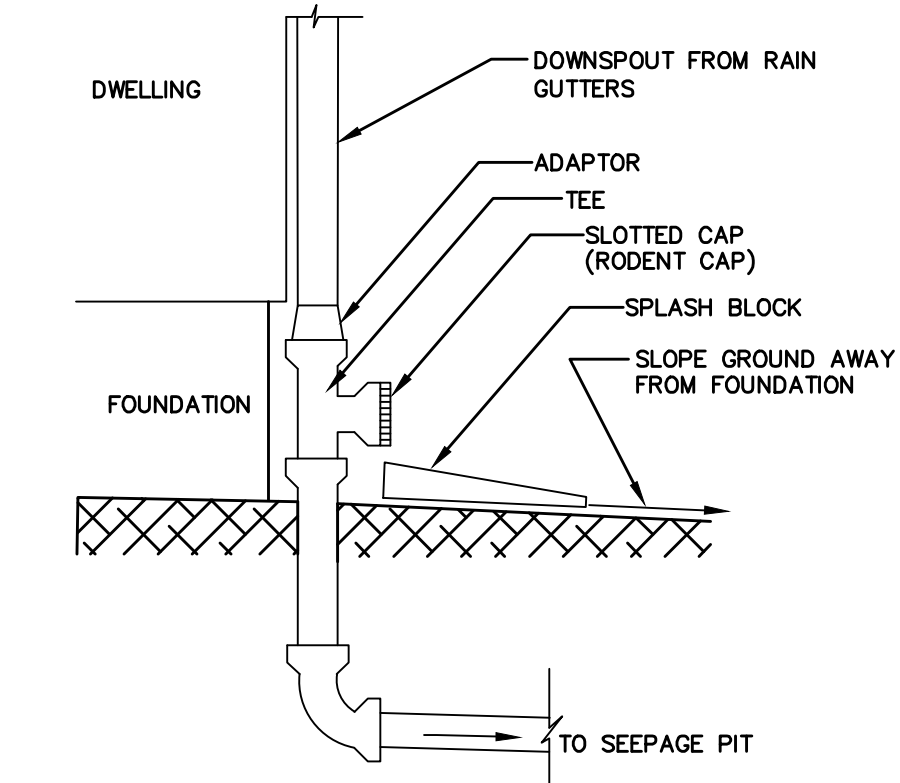
NOTE: IS FOR GENERAL ENGINEERING CO. ONLY. OTHER ENGINEER APPROVED, EQUAL MAY BE USED.



**TYPICAL SECTION**



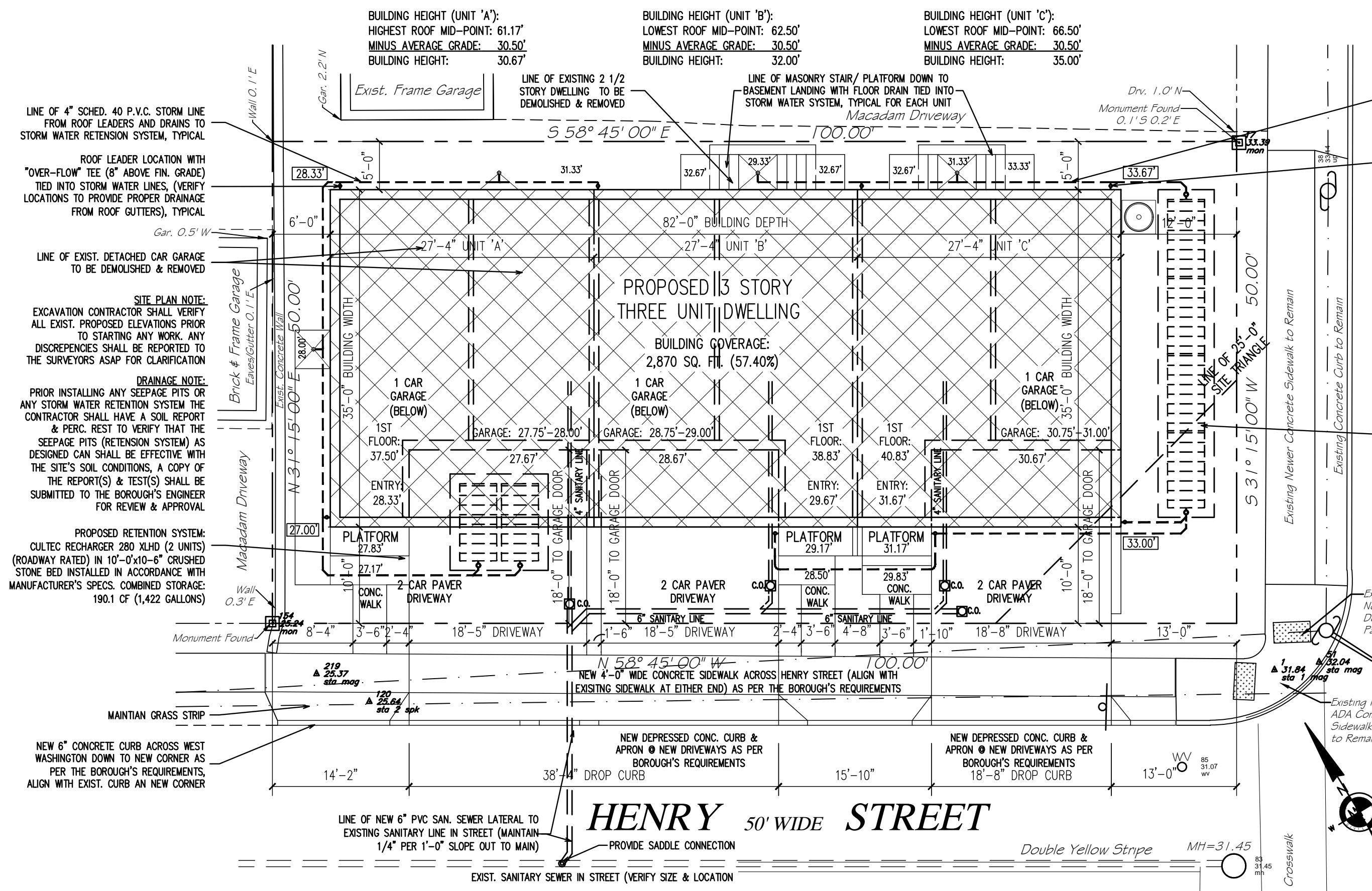
**SANITARY SEWER CLEANOUT TEE**  
NO SCALE



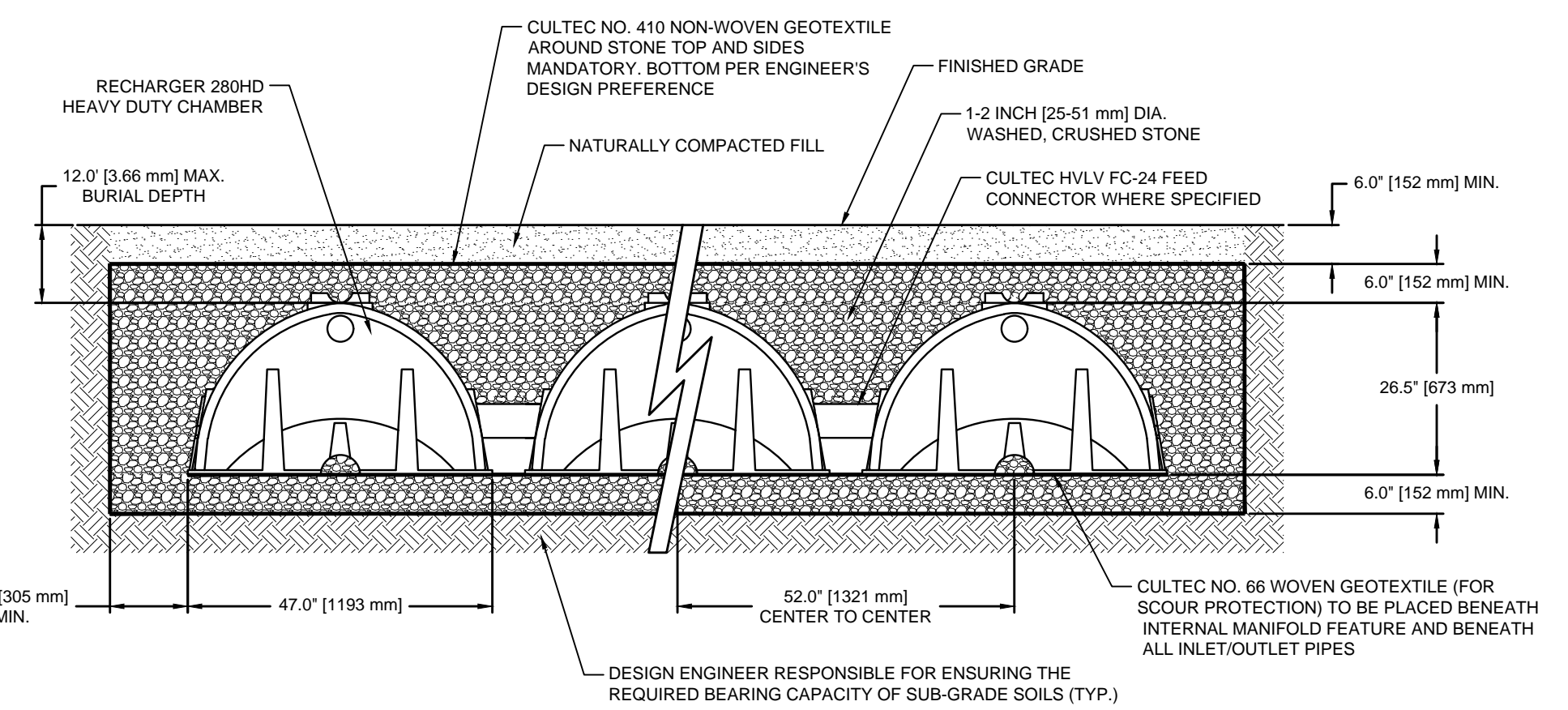
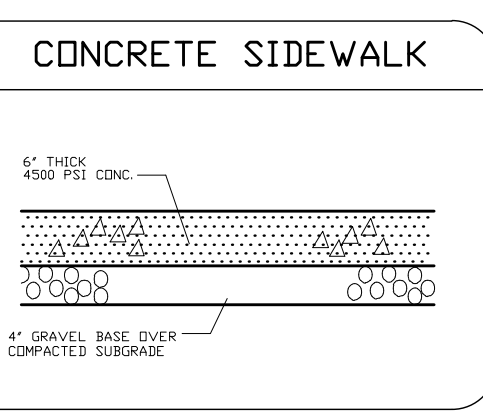
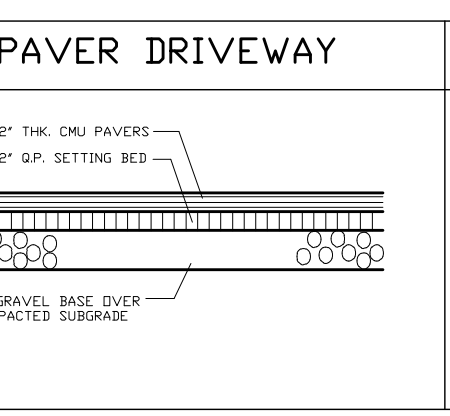
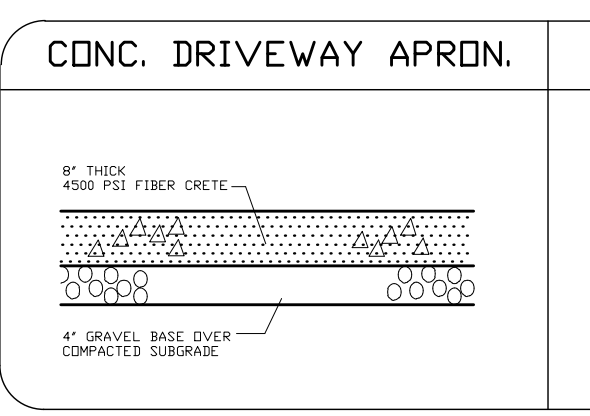
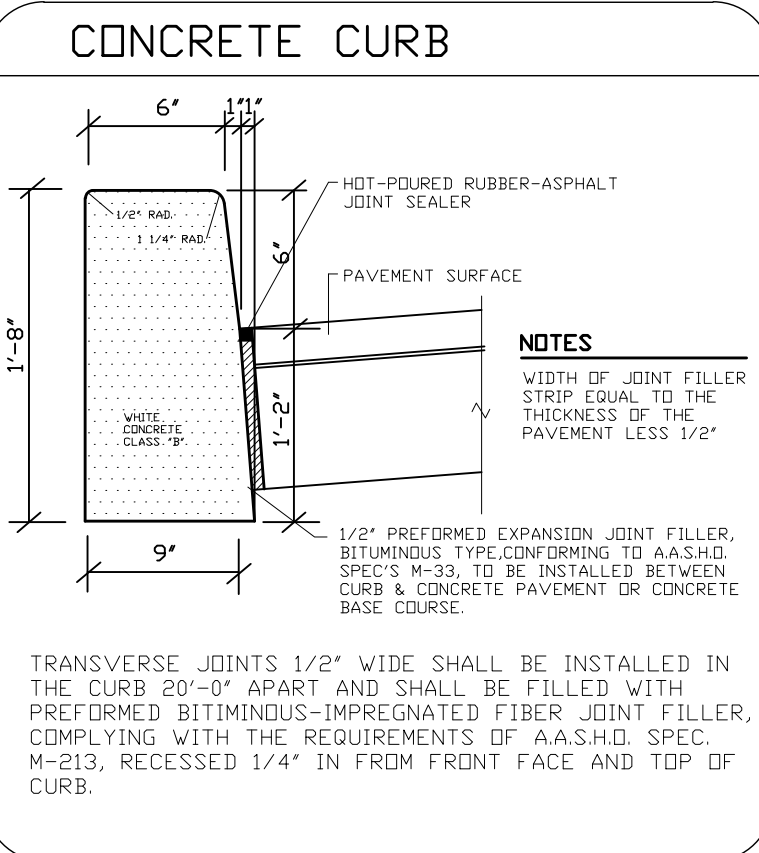
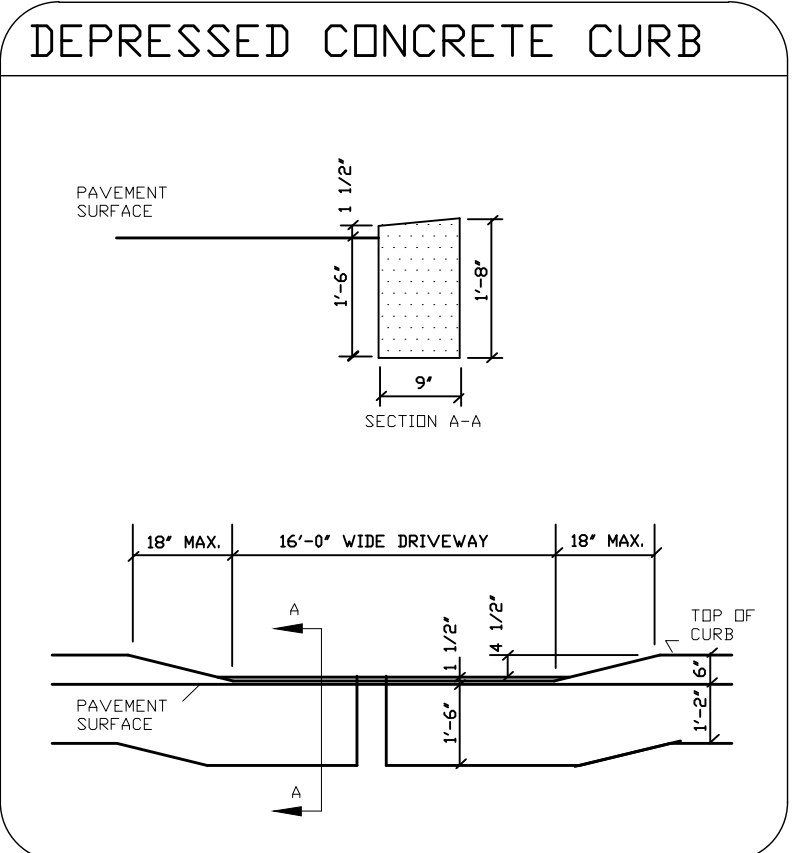
**TEE OVERFLOW DETAIL**  
No Scale

TRENCH WIDTHS		
PIPE SIZE	TRENCH WIDTH 'B' MIN.	TRENCH WIDTH 'B' MAX.
4"	24"	30"
6"	24"	30"
8"	24"	36"
10"	26"	36"
12"	28"	40"
14"	30"	42"
16"	30"	42"
18"	32"	42"
24"	42"	60"
30"	50"	62"
36"	56"	68"

- NOTES:**
- TRENCH WIDTH "B" IS MEASURED AT A POINT 12" ABOVE TOP OF PIPE. TRENCH WIDTH AT 12" ABOVE TOP OF PIPE CAN NOT EXCEED "B" MAX. TRENCH WIDTH ABOVE THIS POINT CAN EXCEED "B" MAX.
  - TRENCH WIDTH REQUIRED FOR STEEL TRENCH BOXES IN EXCESS OF THE MAXIMUM WIDTHS INDICATED ABOVE WILL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
  - IF THE EXCAVATED NATIVE MATERIAL IS JUDGED TO BE UNSUITABLE FOR BACKFILL BY THE ENGINEER, IT WILL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND REPLACED WITH SELECT FILL.
  - IN UNSTABLE TRENCHES PROVIDE SUFFICIENT 1/2" CRUSHED STONE TO WITHIN 8" OF THE BOTTOM OF PIPE TO PREPARE A FIRM BASE FOR THE 3/4" CRUSHED STONE BEDDING. IF REQUIRED BY THE ENGINEER EXTEND THE 3/4" CRUSHED STONE COMPACTED IN PLACE TO 12" ABOVE THE TOP OF PIPE.
  - BASE AND SURFACE COURSE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH BOROUGH REQUIREMENTS.



**SCHEMATIC STORMWATER PLAN**  
SCALE: 1" = 10'-0"



**GENERAL NOTES**  
RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 9.21 CF (1.83 m<sup>3</sup>) PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12' (3.66 m). THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 280HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

**CULTEC RECHARGER 280HD MAINTENANCE SCHEDULE**

Frequency	Action
Inlets and Outlets	Every 3 years
	• Obtain documentation that the inlets, outlets and vents have been cleaned and will function as intended.
	• Check inlet and outlets for clogging and remove any debris as required.
CULTEC Stormwater Chambers	2 years after commissioning
	• Inspect the interior of the stormwater management chambers through inspection port for deficiencies using CCTV or comparable technique.
	• Obtain documentation that the stormwater management chambers and feed connectors will function as anticipated.
	9 years after commissioning every 9 years following
	• Clean stormwater management chambers and feed connectors of any debris.
	• Inspect the interior of the stormwater management structures for deficiencies using CCTV or comparable technique.
	• Obtain documentation that the stormwater management chambers and feed connectors have been cleaned and will function as intended.
	45 years after commissioning
	• Clean stormwater management chambers and feed connectors of any debris.
	• Determine the remaining life expectancy of the stormwater management chambers and recommended schedule and actions to rehabilitate the stormwater management chambers as required.
	• Replace or restore the stormwater management chambers in accordance with the schedule determined at the 45-year inspection.
	• Obtain the appropriate approvals as required.
	• Establish a new operation and maintenance schedule.
Surrounding Site	Monthly in 1 <sup>st</sup> year
	• Check for depressions in areas over and surrounding the stormwater management system.
	Spring and Fall
	• Check for depressions in areas over and surrounding the stormwater management system.
	Yearly
	• Confirm that no unauthorized modifications have been performed to the site.

THE BOROUGH OF PALISADES PARK ZONING BOARD OF ADJUST. APPROVED THIS PLAN BY MEMORIALIZING RESOLUTION AT ITS REGULAR MEETING ON . PLEASE SEE AFFIXED RESOLUTION FOR ANY ADDITIONAL CONDITIONS OF APPROVAL SET BY THE BOARD

BOARD ENGINEER	DATE
BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE

V.C.A.GROUP, LLC  
487 SYLVAN AVENUE  
LOWER LEVEL  
ENGLEWOOD CLIFFS, NEW JERSEY  
TEL. 201.541.6595  
FAX. 201.541.6596

- NOTES:**
- PROPERTY DESCRIPTION: 4203 GRAND AVENUE, PALISADES PARK, N.J. TAX MAP BLOCK: 111 LOT: 23
  - ALL CONSTRUCTION WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE NEW JERSEY UNIFORM CONSTRUCTION CODE, FEDERAL, STATE, AND LOCAL REQUIREMENTS, MANUFACTURER'S INSTALLATION REQUIREMENTS AND PROCEDURES, AND GOOD CONSTRUCTION AND ENGINEERING PRACTICE AS PERTAINS TO SAFETY.
  - CURBS, DRIVEWAYS, SIDEWALKS AND STORM SEWERS SHALL BE CONSTRUCTED TO BOROUGH SPECIFICATIONS.
  - ANY ADJACENT STRUCTURES, RETAINING WALLS, LANDSCAPING, CURBS, PIPING, PAVEMENT, FENCES, ETC. DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED.
  - ALL ROOF LEADERS SHALL BE CONNECTED INTO SEEPAGE PITS.
  - PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS W/ THIS PLAN.

Architect shall not be responsible for the means & methods of construction and or site maintenance & safety

**PROJECT:**  
Proposed New:  
**Three Family Dwelling**  
203 Grand Avenue  
Palisades Park, New Jersey  
Block: 111 Lot: 23  
AA Zone

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Date	Item
10/15/20	CLIENT REVIEW
10/28/20	ZONING BOARD REVIEW

**DRAWING TITLE:**  
STORMWATER PLAN & DETAILS

SCALE:	AS NTD.	DATE:	09/22/20
DESIGNED BY:	VC	PROJECT#:	DL-20-02
DRAWN BY:	VC	CAD FILE:	
CHECKED BY:	VC	DRAWING #:	

PROFESSIONAL SEAL:	DRAWING:
	S1