

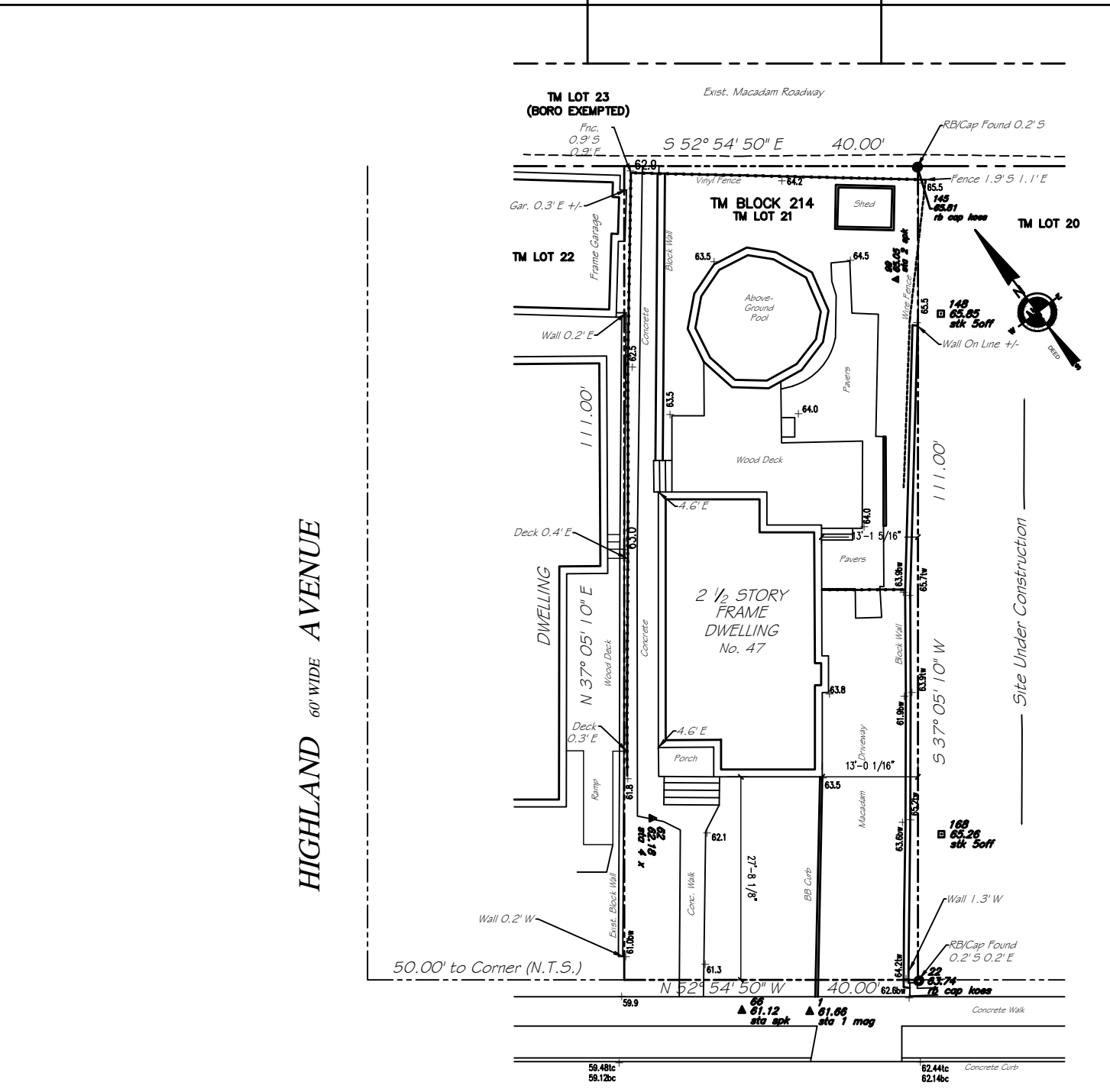
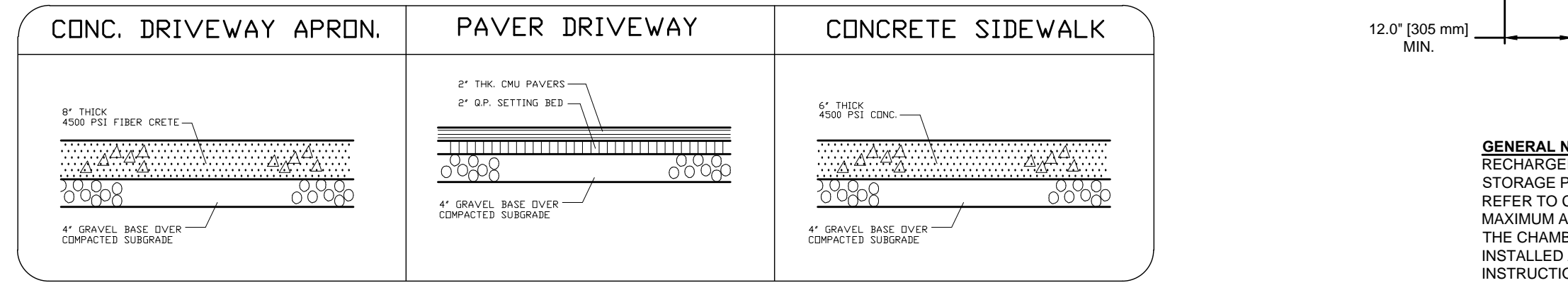
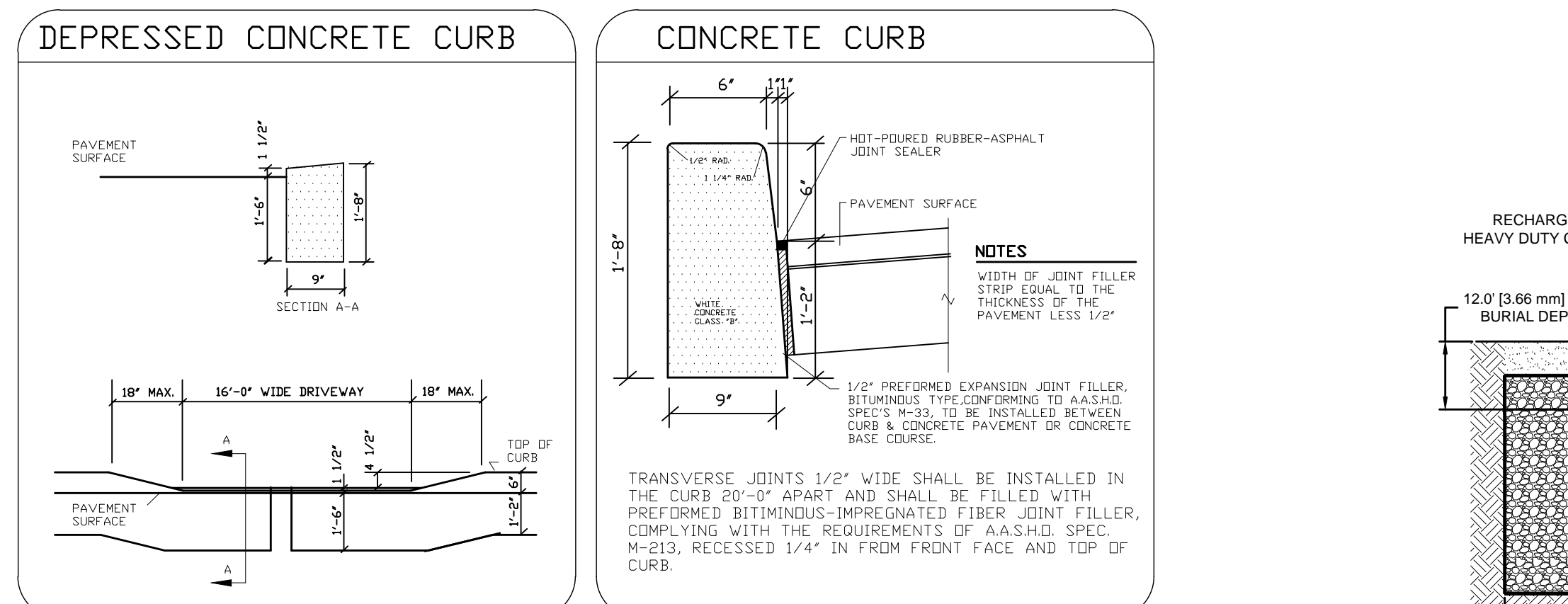
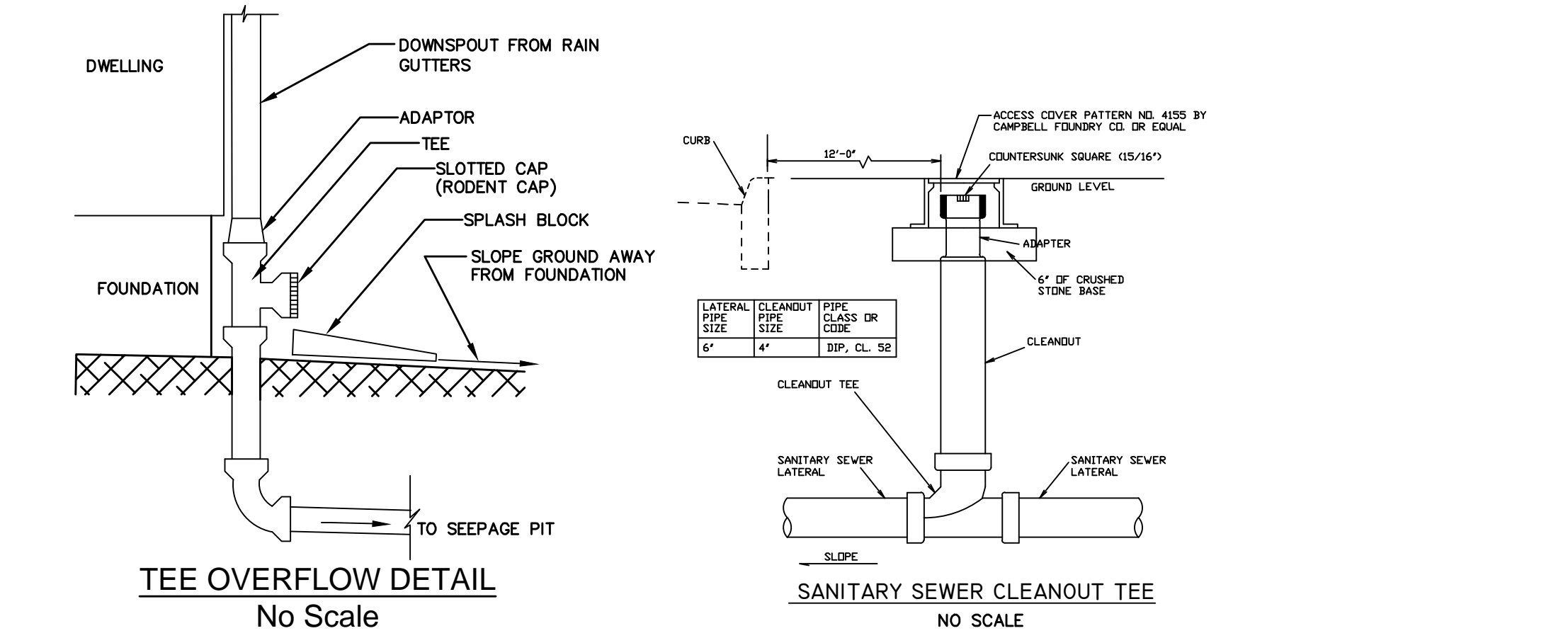
HALF SECTION IN EARTH EXCAVATION HALF SECTION IN ROCK EXCAVATION

TYPICAL SECTION

NOTES:

- TRENCH WIDTH "B" IS MEASURED AT A POINT 12" ABOVE TOP OF PIPE. TRENCH WIDTH AT 12" ABOVE TOP OF PIPE CAN NOT EXCEED "B" MAX. TRENCH WIDTH ABOVE THIS POINT CAN EXCEED "B" MAX.
- TRENCH WIDTH REQUIRED FOR STEEL TRENCH BOXES IN EXCESS OF THE MAXIMUM WIDTHS INDICATED ABOVE WILL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
- IF THE EXCAVATED NATIVE MATERIAL IS JUDGED TO BE UNSUITABLE FOR BACKFILL BY THE ENGINEER, IT WILL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND REPLACED WITH SELECT FILL.
- IN UNSTABLE TRENCHES PROVIDE SUFFICIENT 1/2" CRUSHED STONE TO WITHIN 8" OF THE BOTTOM OF PIPE TO PREPARE A FIRM BASE FOR THE 3/4" CRUSHED STONE BEDDING. IF REQUIRED BY THE ENGINEER EXTEND THE 3/4" CRUSHED STONE COMPACTED IN PLACE TO 12" ABOVE THE TOP OF PIPE.
- BASE AND SURFACE COURSE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH BOROUGH REQUIREMENTS.

PIPE SIZE	TRENCH WIDTH "B" MIN.	TRENCH WIDTH "B" MAX.
4"	24"	30"
6"	24"	30"
8"	24"	36"
10"	26"	36"
12"	28"	40"
14"	30"	42"
16"	30"	42"
18"	32"	42"
24"	42"	60"
30"	50"	62"
36"	56"	68"

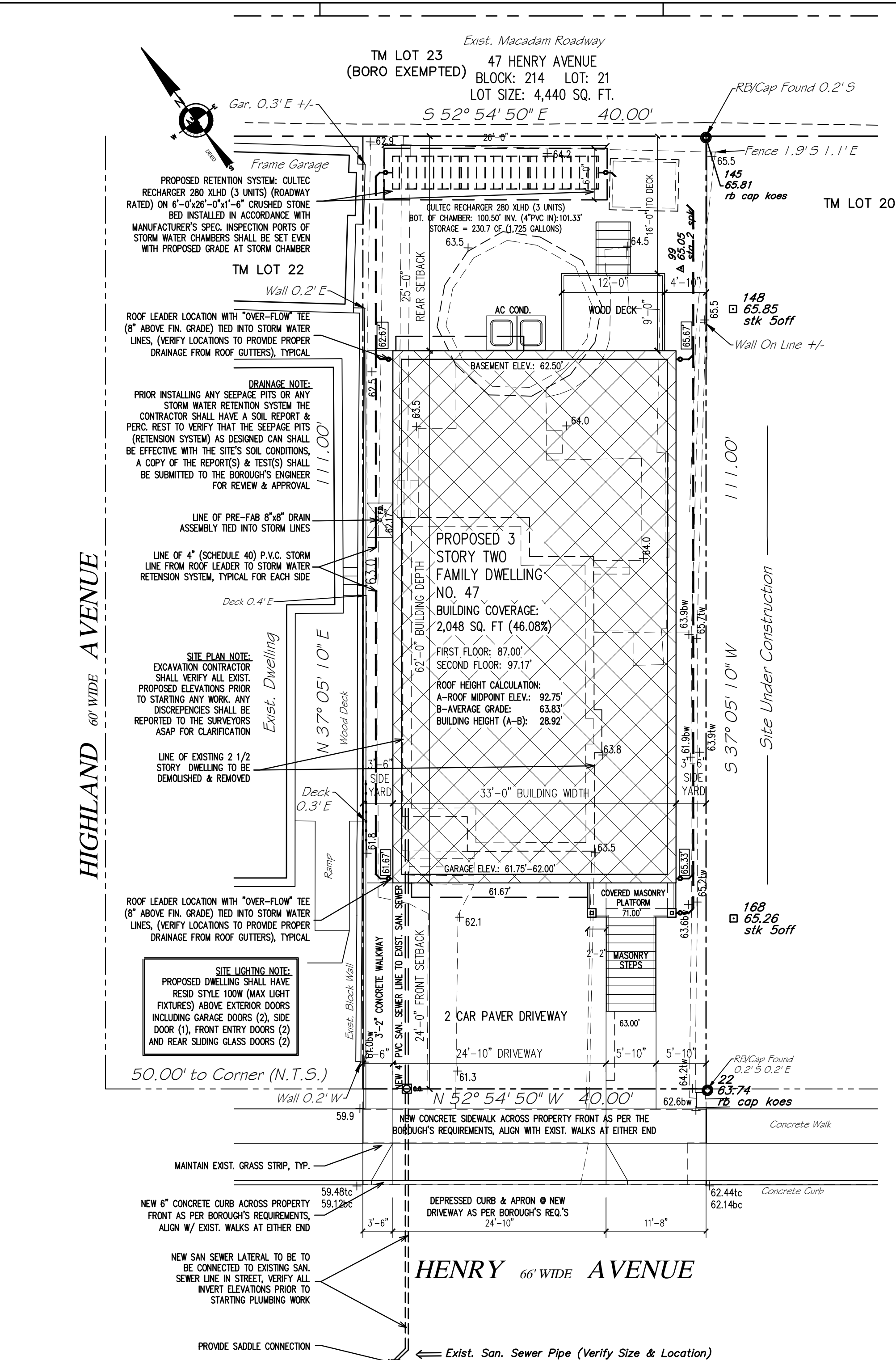


HENRY 66' WIDE AVENUE
EXISTING SITE SCALE: 1" = 20'-0"

47 HENRY AVENUE, PALISADES PARK, NEW JERSEY
BLOCK: 214 LOT: 21 ZONING INFO - AA ZONE

CATEGORY:	REQUIRED	PROPOSED	VARIANCE
LOT SIZE (EXISTING):	5,000 SQUARE FEET	4,440 SQUARE FEET	YES (1)
LOT WIDTH (EXISTING):	50.00 FEET	40.00 FEET	YES (1)
LOT DEPTH (EXISTING):	100.00 FEET	111.00 FEET	NO
DWELLING UNITS:	TWO	TWO (2)	NO
LOT AREA PER UNIT:	2,500 SQUARE FEET	2,220 SQUARE FEET	YES
BUILDING COVERAGE:	2,500 SQ. FEET MAX 40.00%	2,049 SQ. FEET 46.15 %	NO YES
FRONT YARD:	24.00 FEET	24.00 FEET	NO
RIGHT SIDE YARD (2)	5.00 FEET	3.50 FEET	YES
LEFT SIDE YARD (2)	5.00 FEET	3.50 FEET	YES
COMBINED YARD (2)	14.00 FEET	7.50 FEET	YES
REAR YARD:	25.00 FEET	25.00 FEET	NO
BUILDING HEIGHT: (2)	2.5 STORIES 25.00 FEET	3.0 STORIES 28.92 FEET	YES

- PRE-EXISTING NON-CONFORMING CONDITION
- NON DUPLEX REQUIREMENTS



SCHEMATIC SITE PLAN SCALE: 1" = 10'-0"

CULTEC RECHARGER 280HD MAINTENANCE SCHEDULE

Inlets and Outlets	Frequency	Action
Inlets and Outlets	Every 3 years	Obtain documentation that the inlets, outlets and vents have been cleaned and will function as intended.
Spring and Fall		Check inlet and outlets for clogging and remove any debris as required.
CULTEC Stormwater Chambers	2 years after commissioning	Inspect the interior of the stormwater management chambers through inspection port for deficiencies using CCTV or comparable technique.
	9 years after commissioning every 9 years following	Obtain documentation that the stormwater management chambers and feed connectors will function as anticipated.
	45 years after commissioning	Clean stormwater management chambers and feed connectors of any debris.
		Inspect the interior of the stormwater management structures for deficiencies using CCTV or comparable technique.
		Obtain documentation that the stormwater management chambers and feed connectors have been cleaned and will function as intended.
	45 years after commissioning	Clean stormwater management chambers and feed connectors of any debris.
		Determine the remaining life expectancy of the stormwater management chambers and recommended schedule and actions to rehabilitate the stormwater management chambers as required.
		Inspect the interior of the stormwater management chambers for deficiencies using CCTV or comparable technique.
		Replace or restore the stormwater management chambers in accordance with the schedule determined at the 45-year inspection.
		Obtain the appropriate approvals as required.
		Establish a new operation and maintenance schedule.
Surrounding Site	Monthly in 1 st year	Check for depressions in areas over and surrounding the stormwater management systems.
	Spring and Fall	Check for depressions in areas over and surrounding the stormwater management systems.
	Yearly	Confirm that no unauthorized modifications have been performed to the site.

THE BOROUGH OF PALISADES PARK ZONING BOARD OF ADJUST. APPROVED THIS PLAN BY MEMORIALIZING RESOLUTION AT ITS REGULAR MEETING ON [DATE]. PLEASE SEE AFFIXED RESOLUTION FOR ANY ADDITIONAL CONDITIONS OF APPROVAL SET BY THE BOARD.

BOARD ENGINEER: _____ DATE: _____
 BOARD SECRETARY: _____ DATE: _____
 BOARD CHAIRPERSON: _____ DATE: _____

V.C.A. GROUP
 VASSILIOS COCOROS ARCHITECT

V.C.A.GROUP, LLC
 467 SYLVAN AVENUE
 LOWER LEVEL
 ENGLEWOOD CLIFFS, NEW JERSEY
 TEL. 201.541.6595
 FAX. 201.541.6596

- NOTES:
- PROPERTY DESCRIPTION:
47 HENRY STREET
PALISADES PARK, N.J.
TAX MAP BLOCK: 214 LOT: 21
 - ALL CONSTRUCTION WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE NEW JERSEY UNIFORM CONSTRUCTION CODE, FEDERAL, STATE, AND LOCAL REQUIREMENTS, MANUFACTURER'S INSTALLATION REQUIREMENTS AND PROCEDURES, AND GOOD CONSTRUCTION AND ENGINEERING PRACTICE AS PERTAINS TO SAFETY.
 - CURBS, DRIVEWAYS, SIDEWALKS AND STORM SEWERS SHALL BE CONSTRUCTED TO BOROUGH SPECIFICATIONS.
 - ANY ADJACENT STRUCTURES, RETAINING WALLS, LANDSCAPING, CURBS, PIPING, PAVEMENT, FENCES, ETC. DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED.
 - ALL ROOF LEADERS SHALL BE CONNECTED INTO SEEPAGE PITS.
 - PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS W/ THIS PLAN.

Architect shall not be responsible for the means & methods of construction and or site maintenance & safety

PROJECT:
 Proposed:
New Two Family Dwelling
 Located at:
47 Henry Avenue
Palisades Park, New Jersey
Block: 214 Lot: 21
AA Residential Zone

Date	Item
03/24/20	ZONING REVIEW

DRAWING TITLE:
STORMWATER PLAN & DETAILS

SCALE: AS NOTED DATE: 02/28/20
 DESIGNED BY: VC PROJECT#: CB-20-01
 DRAWN BY: VC CAD FILE:
 CHECKED BY: VC DRAWING #:
 PROFESSIONAL SEAL: DRAWING:
 S1
 VASSILIOS COCOROS, RA
 N.J. LIC. # A1 13644
 SHEET #: 1 OF 2