

**ZONING SCHEDULE**

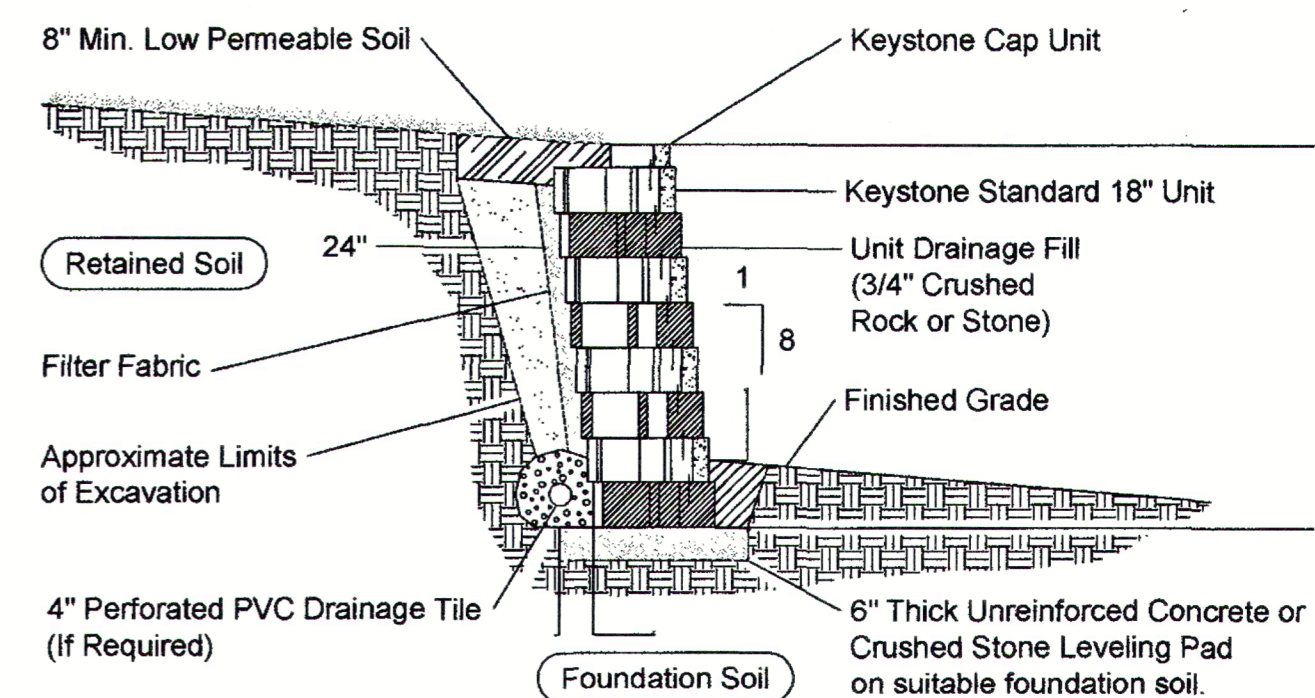
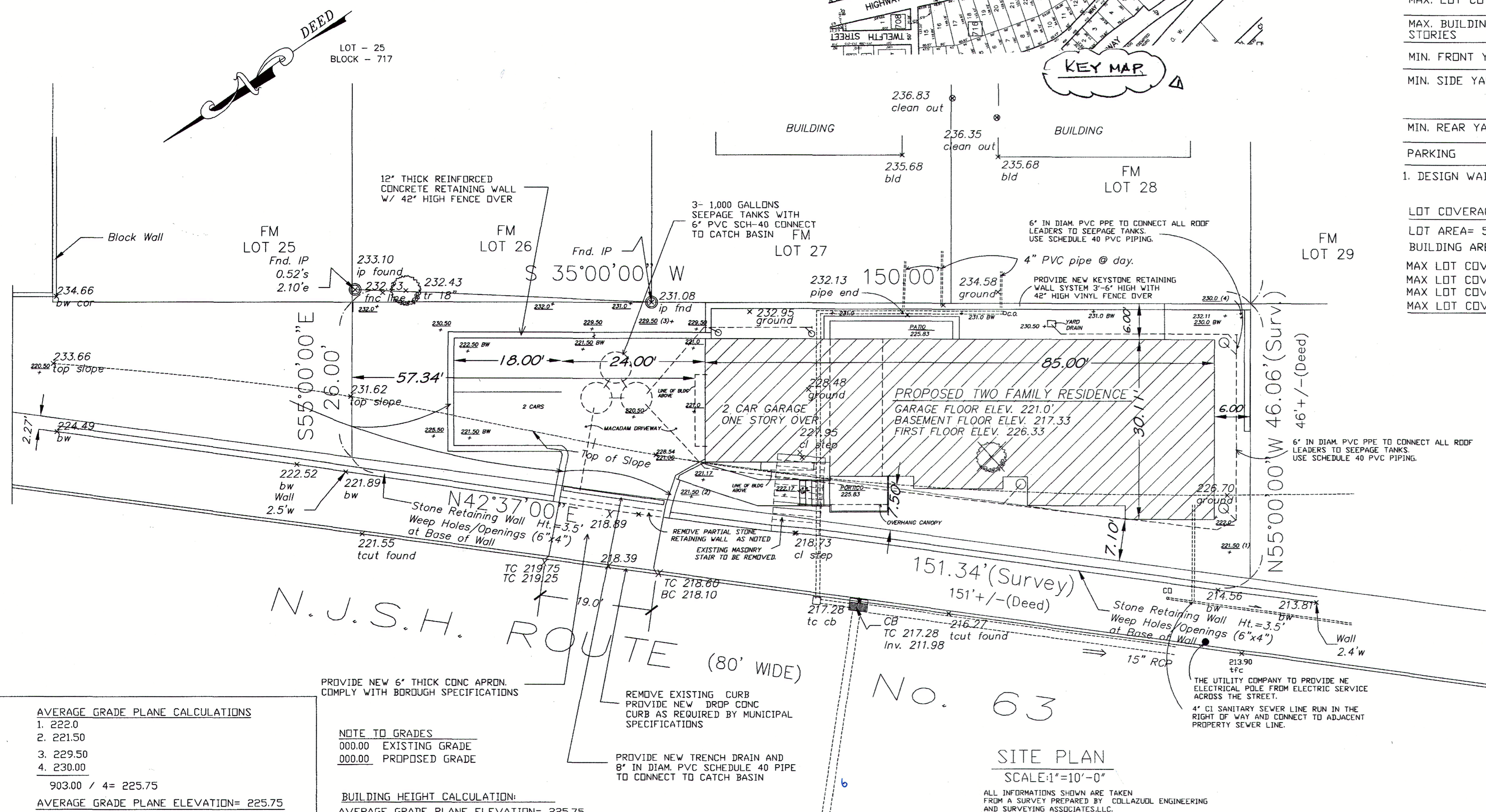
ZONE- "A-A" ONE & TWO FAMILY RESIDENTIAL PROPOSED TWO FAMILY RESIDENCE

ITEM	REQUIRED	ACTUAL	VARIANCE
MIN. LOT AREA	5,000 SQ.FT.	5,404.7 SQ.FT.	—
MIN. LOT AREA PER UNIT	2,500 SQ.FT.	2,702.37 SQ.FT.	—
MIN. LOT WIDTH	50.0 FT.	151.23 FT.	—
MAX. LOT COVERAGE	40 %	40 %	—
MAX. BUILDING HEIGHT	25 FT	22.42	—
STORIES	2 1/2 ST.	2 1/2 ST.	—
MIN. FRONT YARD	20.0 FT.	7.10 FT	*
MIN. SIDE YARD	ONE 5.0 FT BOTH 14.0 FT	6.0 63.34 FT	—
MIN. REAR YARD	25 FT	6.0 FT.	*
PARKING	4	4	—

1. DESIGN WAIVER- STAIRS & PORCH ALLOWED TO ENCRDACH FRONT YARD- 4'-0" PROPOSED PORCH & STEPS ENCRDACH 5'-0"

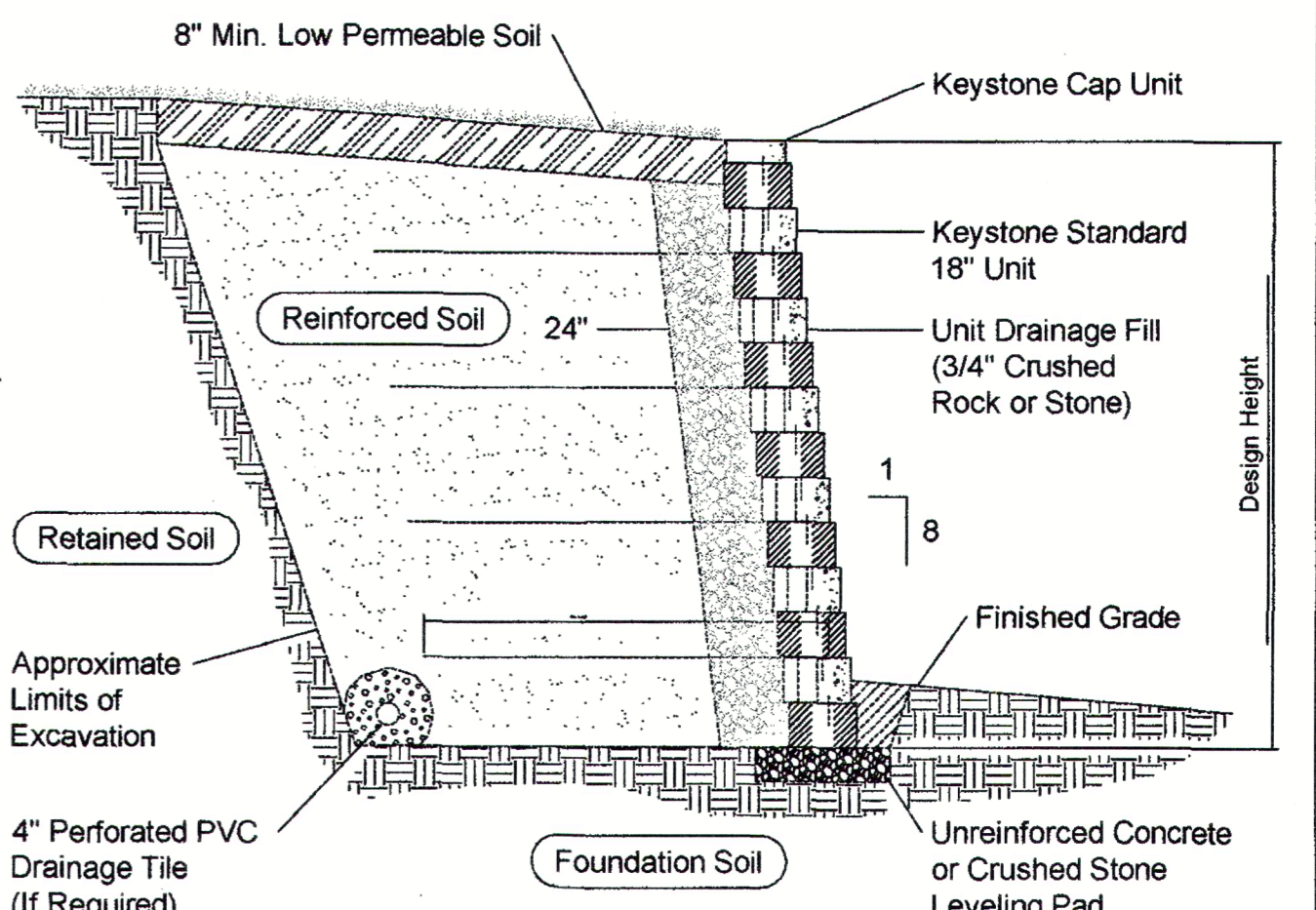
**LOT COVERAGE CALCULATION:**

LOT AREA= 5,404.7 SQ.FT.  
 BUILDING AREA= 2,151.51 SQ.FT.  
 MAX LOT COVERAGE= BUILDING AREA/ LOT AREA  
 MAX LOT COVERAGE= 2,151.51 SF/ 5,404.7 SQ.FT.  
 MAX LOT COVERAGE= 0.40  
 MAX LOT COVERAGE= 40 %



NOTES:  
 1. CONTRACTOR SHALL CONSTRUCT WALL AS PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.  
 2. GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO DETERMINE SUITABILITY OF FOUNDATION SOIL.  
 3. ALL BACKFILL MATERIALS TO BE COMPACTED TO 95% MAX. DENSITY.  
 4. WALL MATERIALS SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

**WALLS LESS THAN 48" IN HEIGHT**  
 Typical Gravity Wall Section R-2  
 "Keystone" Standard 18" Unit - 1" Setback



**WALLS 48" AND MORE IN HEIGHT**  
 Typical Reinforced Wall Section R-1  
 Keystone Standard 18" Unit - 1" Setback

**AVERAGE GRADE PLANE CALCULATIONS**

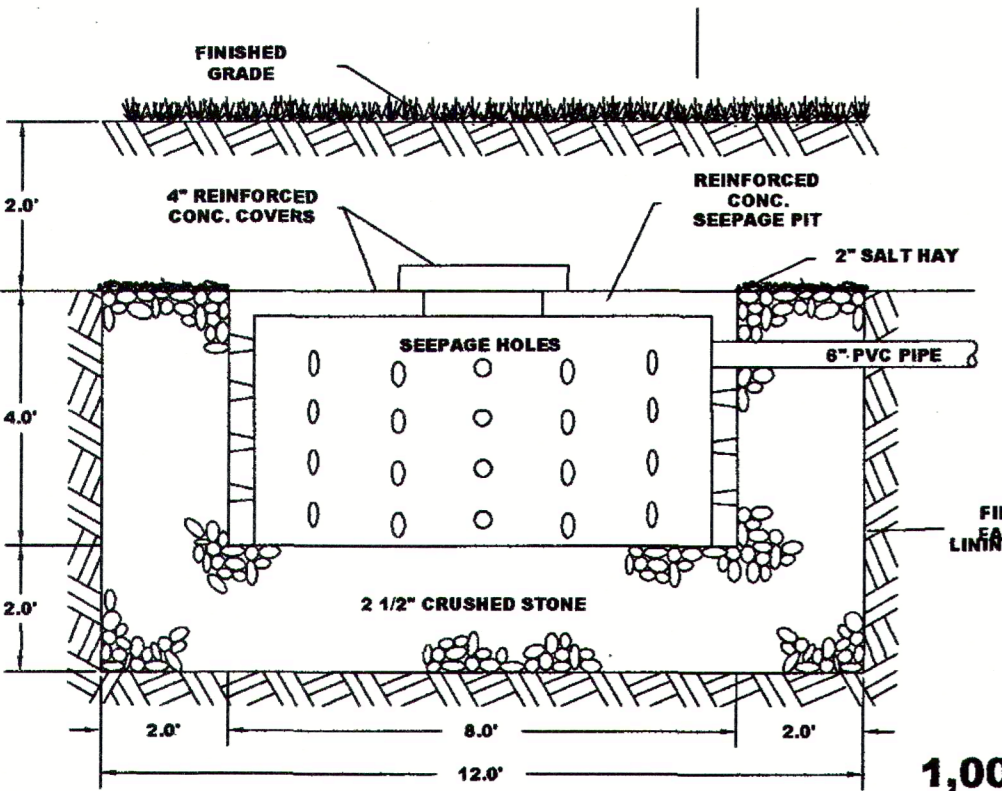
- 222.0
- 221.50
- 229.50
- 230.00

903.00 / 4 = 225.75

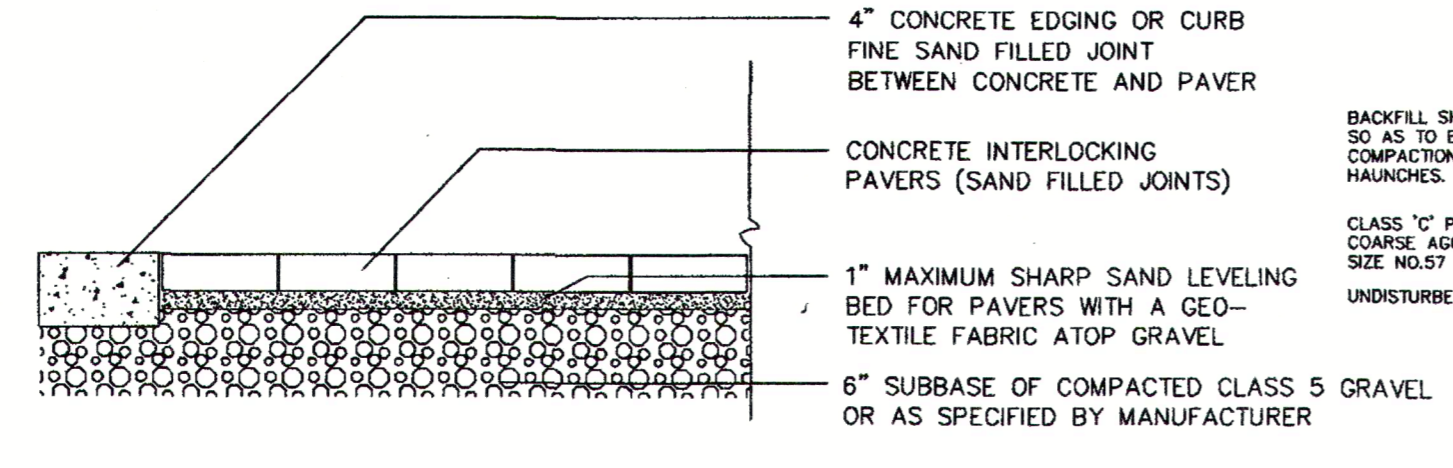
**AVERAGE GRADE PLANE ELEVATION= 225.75**

**NOTE TO GRADES**  
 000.00 EXISTING GRADE  
 000.00 PROPOSED GRADE

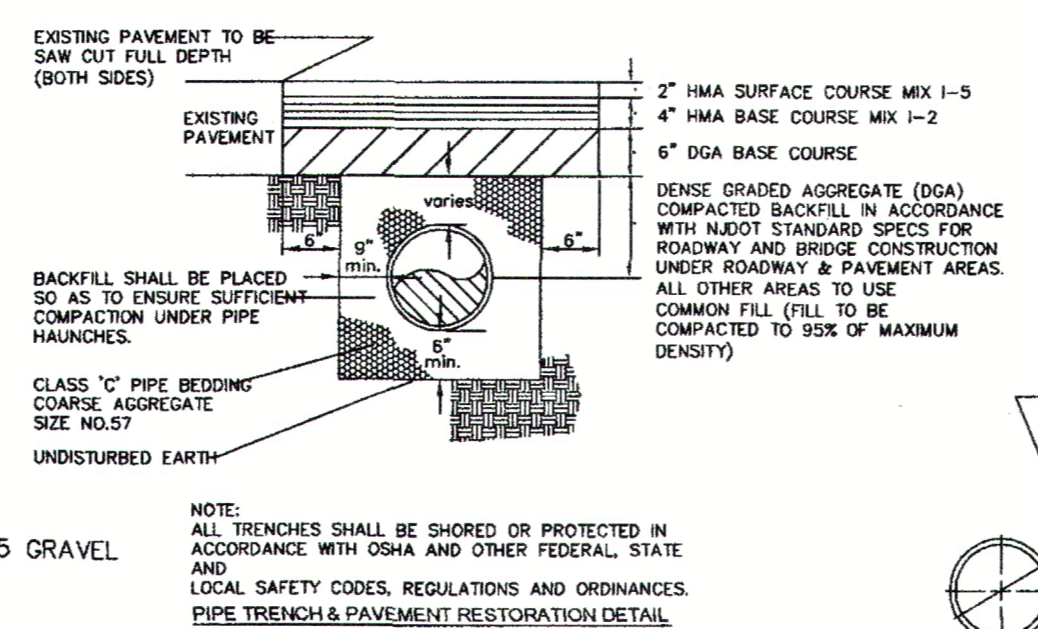
**BUILDING HEIGHT CALCULATION:**  
 AVERAGE GRADE PLANE ELEVATION= 225.75  
 MID POINT OF ROOF= 250.0'  
 BUILDING HEIGHT= 24.25 FT



**SECTION A-A**  
**1,000 GALLON SEEPAGE PIT DETAIL**  
 NOT TO SCALE



**CONCRETE INTERLOCKING PAVER DETAIL**  
 NOT TO SCALE



**TYPICAL WATER SERVICE CONNECTION**  
 N.T.S.

ALL INFORMATION SHOWN ARE TAKEN FROM A SURVEY PREPARED BY COLLAZUD ENGINEERING AND SURVEYING ASSOCIATES, L.L.C. 1610 CENTER AVENUE, FORT LEE, NJ 07024 SIGNED BY STEAVEN J. COLLAZUD, PLS LIC# 31,265 DATED 5-16-2020

NOTES:  
 1. CONTRACTOR SHALL CONSTRUCT WALL AS PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.  
 2. GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO DETERMINE SUITABILITY OF FOUNDATION SOIL.  
 3. ALL BACKFILL MATERIALS TO BE COMPACTED TO 95% MAX. DENSITY.  
 4. WALL MATERIALS SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.  
 5. STRUCTURAL DESIGN TO BE PROVIDED BY OTHERS.

**CONDITIONS OF WARRANTY**

No Warranty, expressed or implied, is made by the Architect except as stated here and forth. It is a separate agreement between the Architect and Owner or General Contractor. No information or Warranty may be drawn from the Plans or Specifications except when the Architect shall be engaged in writing to supervise and prepare or check of drawings and specifications, including approval of taking and working of subcontractors, materials and placement of materials, any certificate. No completion not withstanding unless made expressly unconditional.

REVISIONS	KEY	DATE	DESCRIPTION
1	8-21-20		ADDED KEY MAP

**PROPOSED TWO FAMILY RESIDENCE**  
**BERGEN BOULEVARD- PALISADE PARK, NJ.**

LOT - 25  
 BLOCK - 717

**MARIOS LACHANARIS, ARCHITECT LLC**  
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 E-MAIL: lachanarism@yahoo.com

MARIOS LACHANARIS- NJ IA 12588,  
 N.Y. 027649  
 N.C.A.R.B. 47499

**JOB NO.**  
**SHEET**  
**1 OF 4**

DATE: 6-18-20